



## Century Club

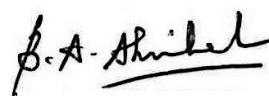
No.1. Seshadri Road, Bangalore - 560001

### **Detailed reply to the queries raised by the members on following Project Works**

**Ref.: Notice of Meeting dt.08.12.2025 - Special General Meeting 04.01.2026 point no. 3**

1. Multipurpose Party Hall (Kaleido)	2-16
2. Rooms	17-77
3. Baritone	78-81
4. Newly Built Stage on Lawn (Bamboo Bar)	82-87
5. Badminton Section	88-94
6. Table Tennis & Pickle Ball Project	95-99

Place: Bangalore  
Date: 22.12.2025

  
Abishek Bogaram Arun Kumar  
Hon. Secretary

## 1. RENOVATION OF DEPARTMENTAL STORE CONVERTING INTO MULTIPURPOSE HALL

STATEMENT OF RENOVATION OF DEPARTMENTAL STORE CONVERTING INTO MULTIPURPOSE HALL - SGM SANCTION,  
WORK EXECUTED AND AMOUNT SPENT (PAYMENT MADE DETAILS), AS ON 15/12/2025  
(Amount in Rupees)

W.O- PRO-09/24.04.2025 (SGM dt 01/03/2025)		SGM Sanction Amount	AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
I	SGM Sanction Budget dt: 01/03/2025	50,00,000									
A	CONTRACTOR										
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil, Interior Work, Electrical & HVAC Systems		49,97,484	8,99,547	58,97,031	46,51,401	8,37,252	54,88,653	46,51,401	8,37,252	54,88,653
	<b>Total</b>		<b>49,97,484</b>	<b>8,99,547</b>	<b>58,97,031</b>	<b>46,51,401</b>	<b>8,37,252</b>	<b>54,88,653</b>	<b>46,51,401</b>	<b>8,37,252</b>	<b>54,88,653</b>
	<b>Less: BOQ Deletion</b>		<b>3,46,083</b>	<b>62,295</b>	<b>4,08,378</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
	<b>Grand Total</b>		<b>46,51,401</b>	<b>8,37,252</b>	<b>54,88,653</b>	<b>46,51,401</b>	<b>8,37,252</b>	<b>54,88,653</b>	<b>46,51,401</b>	<b>8,37,252</b>	<b>54,88,653</b>
B	ADDITIONAL TENDERED WORK										
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Structural Work - Retrofitting - Structural Engineer - Report)		1,67,175	30,092	1,97,267	1,67,175	30,092	1,97,267	1,67,175	30,092	1,97,267
2	Copper tube piping work for AC		62,370	11,227	73,597	62,370	11,227	73,597	-	-	-
3	Third Party Architect 2%		99,950	-	99,950	99,950	-	99,950	79,960	-	79,960
	<b>Grand Total</b>		<b>3,29,495</b>	<b>41,318</b>	<b>3,70,813</b>	<b>3,29,495</b>	<b>41,318</b>	<b>3,70,813</b>	<b>2,47,135</b>	<b>30,092</b>	<b>2,77,227</b>
	<b>SUB TOTAL -A Total Work Order Issued and Amount Spent</b>	<b>50,00,000</b>	<b>49,80,896</b>	<b>8,78,570</b>	<b>58,59,466</b>	<b>49,80,896</b>	<b>8,78,570</b>	<b>58,59,466</b>	<b>48,98,536</b>	<b>8,67,344</b>	<b>57,65,880</b>

W.O- PRO-09/24.04.2025 (SGM dt 01/03/2025)		SGM Sanction Amount	AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
	<b>CAPITAL / REVENUE BUDGET</b>	<b>35,86,807</b>									
<b>C</b>	<b>Capital</b>										
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Supply of Audio & Party Lights		15,64,793	2,81,663	18,46,456	15,64,793	2,81,663	18,46,456	15,64,793	2,81,663	18,46,456
2	Airconditioner		2,02,950	56,826	2,59,776	2,02,950	56,826	2,59,776	2,02,950	56,826	2,59,776
3	LED		4,35,500	78,390	5,13,890	4,04,000	72,720	4,76,720	4,04,000	72,720	4,76,720
4	LED Trolley		30,000	5,400	35,400	30,000	5,400	35,400	30,000	5,400	35,400
5	Electrical items		93,002	16,740	1,09,742	93,002	16,740	1,09,742	93,002	16,740	1,09,742
6	Electrical items		8,590	1,546	10,136	8,590	1,546	10,136	8,590	1,546	10,136
7	Stabilizer		74,720	13,450	88,170	74,720	13,450	88,170	74,720	13,450	88,170
8	Century Club Logo		40,000	-	40,000	40,000	-	40,000	40,000	7,200	47,200
9	Interior light fixtured & installation		4,85,982	87,477	5,73,459	4,18,509	75,332	4,93,841	4,18,509	75,332	4,93,841
10	Star light effect ceiling		1,73,754	31,276	2,05,030	1,60,524	28,894	1,89,418	1,60,524	28,894	1,89,418
11	Neon Signage Mounted (main entrance)		35,280	6,350	41,630	35,280	6,350	41,630	35,280	6,350	41,630
12	Additional Interior light fixtured & installation		14,994	2,699	17,693	14,993	2,699	17,692	14,994	2,699	17,693
13	Additional Star light effect ceiling		23,814	4,287	28,101	23,814	4,286	28,100	23,814	4,286	28,100
<b>Sub Total - C</b>			<b>31,83,379</b>	<b>5,86,103</b>	<b>37,69,482</b>	<b>30,71,175</b>	<b>5,65,906</b>	<b>36,37,081</b>	<b>30,71,176</b>	<b>5,73,106</b>	<b>36,44,282</b>

		AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)			
D	Revenue Budget										
Sl No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Civil Works	2,50,000	45,000	2,95,000	2,50,000	45,000	2,95,000	2,50,000	45,000	2,95,000	
2	Dutch Cap awning for hall doorway	90,000	16,200	1,06,200	99,000	17,820	1,16,820	90,000	16,200	1,06,200	
3	Texture paint for hall exterior wall	63,428	11,417	74,845	38,085	6,855	44,940	25,112	4,520	29,632	
<b>Sub Total - D</b>		<b>35,86,807</b>	<b>4,03,428</b>	<b>72,617</b>	<b>4,76,045</b>	<b>3,87,085</b>	<b>69,675</b>	<b>4,56,760</b>	<b>3,65,112</b>	<b>65,720</b>	<b>4,30,832</b>
<b>Grand Total ( A+B+C+D)</b>		<b>85,86,807</b>	<b>85,67,703</b>	<b>15,37,291</b>	<b>1,01,04,994</b>	<b>84,39,156</b>	<b>15,14,152</b>	<b>99,53,308</b>	<b>83,34,824</b>	<b>15,06,171</b>	<b>98,40,995</b>

**C. N. Guruprasanna**  
President

**K. R. Paranjothi**  
Vice President

**Abishek Bogaram Arun Kumar**  
Hon. Secretary

**A. M. Raghavendran**  
Hon. Treasurer

**CA M. R. Krishna Murthy**  
Immediate Past President

**CA Ashwin B. U (Partner)**  
For Mann & Co. Chartered Accountants  
Membership No. 233255 / FRN No - 015205S  
UDIN No. 25233255SZQCDL6894



<b>Multi-Purpose Hall – Renovation</b>	
<b>A. PROJECT SANCTION BY SGM</b>	
SGM Approval	01.03.2025
Budget	Rs.50,00,000 + GST
Newspaper Adv.	30.03.2025
Monitoring Sub-Com	16.04.2025
EC Meeting	24.04.2025
No. of bidders	3
Names of the bidders	1.M/s. Spectrum Buildtech With a initial Bid of Rs. 53,09,950/- + GST
	2.M/s. Lotus Energy Systems (P) limited with a initial Bid of Rs.49,97,484/- + GST
	3.M/s. Blitzkrieg audio visual pvt., ltd with a initial Bid of Rs.50,70,110/- + GST
Negotiation by EC, OB & Monitoring Sub Committee	16.04.2025, 24.04.2025
Contractor who won the bid	M/s. Lotus Energy Systems (P) Ltd. For the lowest bid amount of Rs. 49,97,484/- + GST
Letter of Intent and Work order issued on	24.04.2025 & 24.04.2025
Time schedule	Commence from 24.04.2025 and complete within 45 days and handover before 08.06.2025
Bhoomi Pooja	28.04.2025
Contract Amount	Rs.49,97,484 + GST
Project Completed – Amount Spent	Rs. 49,80,896/- + GST

The Departmental store was kept vacant for a period of 2 years, 10 months from 31/5/2022 to 24/4/2025 and there was no revenue.

The Multi-Purpose Hall Renovation and upgradation was approved by the SGM in its meeting held on 1.3.2025 with budget of Rs.50.00 lakhs + GST. In the meeting *“It was resolved that the proposal for renovation of Department Store place to convert as Multi-purpose Hall by fixing **SOUND PROOF ACOUSTIC TO ORGANIZE EVENTS** so as to attract young members/guests and for hosting parties other than the evenings of Thursdays’ and Sundays’ to conduct Tombola sessions. — Estimated Cost Rs.50 lakhs + taxes., has been approved”*.

**CENTURY CLUB**  
**COMPARATIVE STATEMENT OF SHORT LISTED TENDER FOR**  
**RENOVATION OF DEPARTMENT STORE TO CONVERT INTO MULTI-PURPOSE PARTY HALL**  
**CONSOLIDATED PROJECT COST SUMMARY EXCLUDING CIVIL & BOUGHT OUTS**

		ESTIMATE	SPECTRUM BUILD TECH	LOTUS ENERGY SYSTEMS (P) LTD	BLITZKRIEG AUDIO VISUAL PVT LTD
Sl. No.	Description of Goods and Services	Amount	Amount	Amount	Amount
1	Soundproofing & Acoustic Treatment including supply and installation	24,79,500	26,43,400	24,79,500	25,19,220
2	Room Interiors & Finishing works, excluding all civil (dismantling/ wall construction and plumbing/sanitary works)	13,49,325	14,16,000	13,49,325	13,66,100
3	Auxiliary equipment, data cables and controls for Audio Visual systems including installation and commissioning	2,70,720	2,71,900	2,70,720	2,52,800
4	Auxiliary equipment, data cables and controls for Light fixtures / luminaires including installation and commissioning	2,16,000	2,35,000	2,16,000	2,23,250
5	HVAC systems including servicing existing AC units, installing new ducts complete with installation and commissioning	4,59,000	4,93,650	4,61,439	4,68,740
6	Electrical wiring & Control Switches for room electrical circuits as required per lighting, HVAC & AV requirements	1,80,000	2,00,000	1,80,000	1,90,000
7	Design Consultancy Charges towards preparing MEP / PHE / HVAC Specifications	36,000	50,000	40,500	50,000
<b>TOTAL PROJECT COST FOR SUPPLY, INSTALLATION, TESTING &amp; COMMISSIONING</b>		<b>49,90,545</b>	<b>53,09,950</b>	<b>49,97,484</b>	<b>50,70,110</b>
<b>LESS DISCOUNT 2%</b>		-	<b>1,06,199</b>	-	-
<b>AFTER DISCOUNT</b>		<b>49,90,545</b>	<b>52,03,751</b>	<b>49,97,484</b>	<b>50,70,110</b>
<b>GST DUTIES, TAXES &amp; ALL STATUTORY LEVIES</b>		<b>8,98,298</b>	<b>9,36,675</b>	<b>9,09,447</b>	<b>9,12,620</b>
<b>GRAND TOTAL OF THE PROJECT COST FOR SUPPLY, INSTALLATION, TESTING &amp; COMMISSIONING OF TENDERED BOQ INCLUSIVE OF ALL DUTIES, TAXES &amp; STATUTORY LEVIES AS PER TENDER CONDITIONS</b>		<b>58,88,843</b>	<b>61,40,426</b>	<b>59,06,931</b>	<b>59,82,730</b>

The Multi-Purpose Hall Renovation and upgradation was approved by the SGM in its meeting held on 1.3.2025 with budget of Rs.50.00 lakhs + GST. The task of preparing the detailed estimates, BOQ and tender documents were entrusted to the principal architect M/s. Sankalp Associates. Subsequently a newspaper advertisement in prajavani and Deccan Herald were issued on 30.03.2025, calling for tenders by the vendors. There were 3 tenderers and they were called before the, OB, Monitoring subcommittee and EC for negotiations. A team of experts from OB and EC also inspected the works carried out by the said builders to understand about the quality and capability of the vendor. The lowest tender was given by M/s. Lotus Energy Systems (P) Ltd. In the monitoring Sub-Committee held on 22.04.2025 all the tenderers were called to Monitoring Sub-Committee meeting for discussion and negotiation. M/s. Blitzkrieg Audio Visual Pvt. Ltd. M/s. Spectrum Buildtech agreed to offer 2% rebate on the quoted rates amounting to Rs.1,06,199-. The rate quoted by M/s. Lotus Energy Systems (P) Ltd., of Rs.49,97,484/- + GST is the lowest. Mr. Vidyadhar from M/s. Lotus Energy Systems Pvt. Ltd. informed that they had gone through the tender document in detail and quoted the best rates and not able to offer discount on the tender value and he has vast experience in the field of acoustic and noise controls and his company can do the work and their company is 40 years old. Their strength is in acoustics and engineering acoustic works of both industrial applications as well as the interior acoustics and they have done many number of projects across the India for example Infosys and Wipro. Hence the Executive Committee decided to issue work order to M/s. Lotus Energy Systems Pvt. Ltd.

The Monitoring Sub-Committee recommended to issue Work Order to M/s. Lotus Energy Systems (P) Ltd. for Rs.49,97,484/- + GST towards renovation of Department Store to convert into Multi-purpose Party Hall. The E.C. Meeting held on 24.04.2025 **“It was resolved to issue Work Order to M/s. Lotus Energy Systems (P) Ltd. for Rs.59,06,931/- incl. GST (Rs.49,97,484/- + GST Rs.9,09,448/- = Rs.59,06,931/-) towards renovation of Department Store to convert into Multi-purpose Party Hall.”** The tender amount was negotiated for Rs.49,97,484 + GST. The letter of intent and work order was issued on 24.4.2025. The work was commenced from 24.04.2025 now the project is completed and members are utilising the party hall.

Club entrusted following work to M/s. Lotus Energy Systems Pvt. Ltd. :

- Soundproofing & Acoustic Treatment including supply and installation
- Room Interiors & Finishing works, excluding all civil (dismantling/ wall construction and plumbing/sanitary works)
- Auxiliary equipment, data cables and controls for Audio Visual systems including installation and commissioning
- Auxiliary equipment, data cables and controls for Light fixtures / luminaires including installation and commissioning
- HVAC systems including servicing existing AC units, installing new ducts complete with installation and commissioning
- Electrical wiring & Control Switches for room electrical circuits as required per lighting, HVAC & AV requirements
- Design Consultancy Charges towards preparing MEP / PHE / HVAC Specifications

The sanction was strictly limited to the conversion of the Department Store area into a Multipurpose Hall with sound-proof acoustic treatment. The work was completed successfully at a cost of ₹49,80,896/- plus GST, well within the sanctioned amount.

**B:** As the work on the area was progressing it was strongly felt that it is essential for the club to provide the basic requirements expected in a function's hall. It was recommended to include following items and integrate them while the new construction was going on so as to avoid rework if implemented later which would have been double work. The Sound system and its wiring, Display System, LED system, Lighting System, which would be a Dynamic, Appropriate, lighting to suit the occasion, Interior light fixture & installation, Star light effect ceiling, Neon signage (at main entrance), Dutch Cap awning for hall door walls, Texture paint for hall Exterior wall. Accordingly, approved the procurement and installation of sound system, party lighting, LED wall, signage under the capital and revenue budget. The details of items procured are:

Sl. No.	Particulars	Name of the vendor	WO-No.	EC Date	Amount
1	Supply of Audio & Party Lights	Blitzkrieng Audio Visual Pvt. Ltd.	PRO-08	17.05.2025	15,64,793
2	Air conditioner	Lotus Energy System Pvt. Ltd.	PRO-12	22.06.2025	2,02,950
3	LED	Signified Infra tech Solutions	PRO-07	17.05.2025	4,35,500
4	LED Trolley	Dhanadeepa Enterprises	PRO-14	26.06.2025	30,000
5	Additional work	Lotus Energy System Pvt. Ltd.	PRO-04	10.05.2025	2,50,000
6	Third Party Architect 1%	Sridhar Murthy	PRO-15	16.06.2025	49,975
<b>Total:</b>					<b>25,33,218</b>

The above items were procured under work orders numbers which were a continuation of SGM approved project so that identification of these items for accounting purpose becomes simple and if so required the incoming committee could seek ratification of these expenses at the next meeting of members so that budget allocated for this project could be suitably enhanced so that capital and revenue budget would available in full. Ref E.C. dt.17.05.2025

The auditors have concurred with this methodology but have advised that this be informed to the members.

The present Executive Committee 2025-26 after due deliberation has unanimously resolved and approved to account the expenditure of Rs.25.33 lakhs incurred during the overlapping period of current financial year.

Following Items work order given under Capital & Revenue Budget:

## SOUND

- YAMAHA 12" POWERED SPEAKER WOODEN BOX: "(12"" 2-way, Bi-amped Powered Speaker, Bass-reflex, Freq response 39Hz - 20kHz, Rotatable Horn (90X60), 96kHz and FIR Filter with Class D Amplification Dynamic Power 2000W (LF: 1000W, MF/HF: 1000W) \*2 Continuous 950W (LF: 850W, MF/HF: 100W) 950W (LF: 850W, MF/HF: 100W) with 139dB SPL) - 4 Qty"

- YAMAHA 18" POWERED SUBWOOFER: "(18" Powered subwoofer with 4" Voice Coil Maximum 136dB SPL and 30Hz-150Hz frequency range is ideal for today's sound engineering demands, High power 1600W. Class-D amplifier module 96kHz DSP for true high-definition sound with super low latency with 136dB SPL) - 4 Qty"
- YAMAHA DIGITAL MIXER: (Digital Mixer with Input Channels: 16 mono + 1 stereo + 2 FX return, Mix Buses: 6 Analog Input: 16 Mic/ Line (12 XLR + 4 XLR/TRS Phones Combo), Analog Output: 8 (XLR). Network: 1 (RJ-45), USB TO HOST: 1 (USB Type-B, USB2.0), USB TO DEVICE: 1 (USB Type-A), Phones: 1 (TRS Phones), DC: 1 (XLR 4pin, DC power IN), User Interface: 1x 9-inch multi-touch screen, 9x faders (8 channels + 1 main), 1x "Touch and Turn" rotary encoder. Recording & Playback: 18 track recording and playback on PC/Mac, 2 track recording and playback on USB storage device. Sampling Frequency Rate: 96 kHz / 48 kHz) - 1 Qty
- ALF-WP70T-RS: "(Wall Mounted 2x1 switcher and HD BaseT transmitter with HDMI and USB-C inputs. US one-gang enclosure, Decor-style. Supports video resolution up to 4K2K@50/60Hz 4:4:4, 3D, HDR10. Bidirectional RS-232 pass-through, and the RS-232 control signal can be transmitted up to 230ft / 70m. Powered by ALF-TPBK70-R (Sold Separately). Supports USB-C Charging, External PSU required. INPUTS: 1 x HDMI, 1 x USB-C OUTPUT: 1 x HDBaseT RJ45, 1 x USB-C (CHARGING ONLY). CONTROL: 1 x RS232, 1 x Micro USB (Firmware Update)) - 1 Qty"
- ALF-TPBK70-R: (HD BaseT receiver that supports video resolutions up to 4K2K@50/60Hz 4:4:4 from the transmitter over CAT 6/7. HDMI 2.0b, HDCP 2.2. Supports 3D, HDR10. 230ft / 70m for 1080p, 131ft / 40m for 4K. It has bi-directional RS-232 pass-through; audio de-embedding and the RS-232 control signal can be transmitted up to 131ft / 40m. 1x Local HDMI input that will auto-switch between the HDBaseT input and Local HDMI input. Supports POC (Receiver to Transmitter Only)) - 1 Qty
- ALF- HDMI 5M: (5M HDMI cable HDMI 2.0 Full 4k@60HZ 4:4:4 Bidirectional 18gbs Supports HDR) - 1 Qty
- ALF- HDMI 1M: (1M HDMI cable HDMI 2.0 Full 4k@60HZ 4:4:4 Bidirectional 18gbs Supports HDR) - 1 Qty
- LED MOVING HEAD WITH BEAM EFFECT: "150W LED Moving Head with beam effect, color wheel, Gobos, Prism, manual / DMX control, fully RDM compliant when in DMX mode, Light output @ 2 Mtr. >20,000 lux at spot mode, Engineered plastic & alloy housing with black finish. - 2 Qty"
- LED BEAM AND WASH LIGHT: 19 x 15W RGBW LED beam and wash Light, Manual / DMX control, fully RDM compliant when in DMX mode, Light output @ 2 Mtr >4,200 lux at spot mode, Die casted Aluminum housing with black powder coated with matt finish. - 2 Qty
- RGB LASER LIGHT WITH BEAMS & ANIMATION PATTERNS: RGB Laser light with Beams & Animation Patterns, 20K high Speed scanning, manual / DMX control, Flicker free, universal auto-ranging electronic SMPS, 10 / 34 Channels, High Grade Aluminum and MS Housing. - 1 Qty

- ACCESSORIES FOR ALL THE LIGHTING FIXTURES: 1. Diecast Aluminium C Clamp for all Lights. 2. Safety bond for all Lights. 3. Identification name plate. - 22 Qty
- DIGITAL LIGHTING CONSOLE: Digital Lighting console with Minimum following specifications. 1024 Channel, 2 Universe, No. Of Direct Fixture Control : At least 96, No. Of Faders : Atleast 16, Atleast 3 Encoder Wheels, LCD Display for Navigation. - 1 Qty
- DIGITAL DIMMING DMX NETWORK FOR THE LED LIGHTS: “Digital Dimming DMX Network for the LED Lights including DMX Splitter for the Light dimming network, DMX dimming junction boxes, Loop box for the dimming, network, XLR connectors and Termination plugs. -1 Qty”

## LED

- INDOOR PREMIER QUALITY LED AND TROLLEY: “P2.5 indoor premier quality LED 8.4 ft. x 6.3 ft. = 53 ft., Resolution – 1024p x 768p, including processor with USB+LAN+HDMI+Wi-Fi+16 GB memory - 1 Qty”

## LIGHT

- FIBRE OPTIC STARRY CEILING: Fibre optic starry ceiling with random distribution of PMMA optic fibres of 0.75 & 1 mm thickness duly mounted on mdf / plywood of min 12mm thickness suspended from the ceiling grid complete with matt black / other paint shade as per client selection. - 68 Sq Ft, 20W RGBW LED light source for star effect within built driver - 3 PCS
- STABILIZER
- CENTURY CLUB LOGO
- INTERIOR LIGHT FIXTURED & INSTALLATION
- STAR LIGHT EFFECT CEILING
- NEON SIGNAGE MOUNTED (MAIN ENTRANCE)
- DUTCH CAP AWNING FOR HALL DOORWAY
- TEXTURE PAINT FOR HALL EXTERIOR WALL

Audio & Party Lights Comparison Statement									
SI No.	Particulars	Qty	Rate	Amount	Rate	Amount	Rate	Amount	
			Blitzkrieg Audio Visual Pvt. Ltd.		Surabhi Enterprises		AVIDS Technology		
1	<b>Yamaha 12" Powered Speaker Wooden Box</b>  Yamaha 12" Powered Speaker Wooden Box (12" 2-way. Bi-amped Powered Speaker, Bass-reflex, Freq response 391-1z - 20kHz. Rotatable Horn (90X60), 96kHz and FIR Filter with Class D Amplification Dynamic Power 2000W (LF: 1000W, MF/1-IF: 1000W) *2 Continuous 950W (LF: 850W, MF/1117: 100W) 950W (LF: 850W, MF/HF: 100W) with 139dB SPL)	4	77,966	3,11,864	79,236	3,16,944	78,500	3,14,000	
2	<b>Yamaha 18" Powered Subwoofer</b>  (18" Powered subwoofer with 4" Voice Coil Maximum 136dB SPL and 30Hz-150Hz frequency range is ideal for today's sound engineering demands, High power 1600W Class-D amplifier module 96k1-1z DSP for true high-definition sound with super low latency with 136dB SPL)	4	98,136	3,92,544	1,04,298	4,17,192	1,42,298	5,69,192	
3	<b>Yamaha Digital Mixer</b>  (Digital Mixer with Input Channels: 16 mono + 1 stereo + 2 FX return. Mix Buses: 6 Analog Input: 16 Mic/Line (12 XLR + 4 XLR/TRS Phones Combo). Analog Output: 8 (XLR). Network: 1 (RJ-45). USB TO HOST: 1 (USB Type-B, USB2.0). USB TO DEVICE: 1 (USB Type-A). Phones: 1 (TRS Phones), DC: 1 (XLR 4pin, DC power IN), User Interface: 1x 9-inch multi- touch screen. 9x faders (8 channels + 1 main). 1x "Touch and Turn" rotary encoder. Recording & Playback: 18 track recording and playback on PC/Mac. 2 track recording and playback on USB storage device. Sampling Frequency Rate: 96 kHz / 48 kHz)	1	1,65,508	1,65,508	1,66,508	1,66,508	1,69,508	1,69,508	

SI No.	Particulars	Qty	Rate	Amount	Rate	Amount	Rate	Amount
			Blitzkrieg Audio Visual Pvt. Ltd.		Surabhi Enterprises		AVIDS Technology	
4	<b>ALF-WP70T-RS</b> (Wall Mounted 2x1 switcher and HD BaseT transmitter with HDMI and USB-C inputs. US one-gang enclosure. Decora-style. Supports video resolution up to 41(21<@50/60Hz 4:4:4, 3D, HDR10. Bidirectional RS-232 pass-through, and the RS-232 control signal can be transmitted up to 230ft / 70m. Powered by ALF-TPBK70-R (Sold Separately). Supports USB-C Charging, External PSU required. INPUTS: 1 x HDMI, 1 x USB-C OUTPUT: 1 x HDBaseT R145, 1 x USB-C (CHARGING ONLY). CONTROL: 1 x RS232. 1 x Micro USB (Firmware Update))	1	8,958	38,958	40,896	40,896	41,890	41,890
5	<b>ALF-TPBK70-R</b> (HD BaseT receiver that supports video resolutions up to 4K2K@50/60Hz 4:4:4 from the transmitter over CAT 6/7. HDMI 2.0b, HDCP 2.2. Supports 3D, HDR10. 230ft / 70m for 1080p, 131 ft / 40m for 4K. It has bi-directional RS-232 pass-through; audio de-embedding and the RS232 control signal can be transmitted up to 131ft / 40m. 1x Local HDMI input that will auto- switch between the HDBaseT input and Local HDMI input. Supports POC (Receiver to Transmitter Only))	1	31,042	31,042	34,589	34,589	33,850	33,850
6	<b>ALF - HDMI 5M</b> (5M HDMI cable HDMI 2.0 Full 4k@60HZ 4:4:4 Bidirectional 18gbs Supports HDR)	1	2,365	2,365	1,889	1,889	1,989	1,989
7	<b>ALF- HDMI 1Mtr</b> (1M HDMI cable HDMI 2.0 Full 4k(00HZ 4:4:4 Bidirectional 18gbs Supports HDR)	1	989	989	1,189	1,189	1,200	1,200
8	150W LED Moving Head with beam effect, color wheel, Gobos, Prism, manual / DMX control. fully RDM compliant when in DMX mode, Light output @ 2 Mtr >20,000 lux at spot mode, Engineered plastic & alloy housing with black finish.	2	72,664	1,45,328	82,565	1,65,130	81,645	1,63,290
9	19 x 15W RGBW LED beam and wash Light, Manual / DMX control, fully RDM compliant when in DMX mode, Light output @ 2 Mtr >4.200 lux at spot mode. Die casted Aluminum housing with black powder coated with matt finish.	2	69,998	1,39,996	79,856	1,59,712	78,649	1,57,298
10	RGB Laser light with Beams & Animation Patterns, 20K high Speed scanning, manual / DMX control, Flicker free, universal auto-ranging electronic SMPS, 10 / 34 Channels, High Grade Aluminum and MS Housing.	1	72,836	72,836	78,986	78,986	81,838	81,838

SI No.	Particulars	Qty	Rate	Amount	Rate	Amount	Rate	Amount
			<b>Blitzkrieg Audio Visual Pvt. Ltd.</b>	<b>Surabhi Enterprises</b>		<b>AVIDS Technology</b>		
11	Accessories for all the lighting fixtures:- 1. Diecast Aluminium C Clamp for all Lights. 2. Safety bond for all Lights. 3. Identification name plate.	22	3,833	84,326	4,589	1,00,958	4,307	94,754
12	Digital Lighting console with Minimum following specifications. 1024 Channel, 2 Universe, No. Of Direct Fixture Control : Atleast 96, No. Of Faders : Atleast 16, Atleast 3 Encoder Wheels, LCD Display for Navigation.	1	1,09,524	1,09,524	1,22,589	1,22,589	1,23,061	1,23,061
13	Digital Dimming DMX Network for the LED Lights including DMX Splitter for the Light dimming network. DMX dimming junction boxes. Loop box for the dimming, network. XLR connectors and Termination plugs.	1	42,909	42,909	47,898	47,898	48,212	48,212
14	Installation charges	1	75,000	75,000	2,45,800	2,45,800	2,25,000	2,25,000
<b>Sub-total :</b>				<b>16,13,189</b>		<b>19,00,280</b>		<b>20,25,082</b>
<b>Less Discount @ 3% :</b>				<b>48,396</b>		-		-
<b>Total (rounded-off):</b>				<b>15,64,793</b>		<b>19,00,280</b>		<b>20,25,082</b>
<b>CGST 9% :</b>				<b>1,40,831</b>		<b>1,71,025</b>		<b>1,82,257</b>
<b>SGST 9% :</b>				<b>1,40,831</b>		<b>1,71,025</b>		<b>1,82,257</b>
<b>Grand Total (rounded-off) :</b>				<b>18,46,456</b>		<b>22,42,330</b>		<b>23,89,597</b>

**Note :** We have received 3 Quotation from Blitzkrieg Audio Visual Pvt. Ltd., Surabhi Enterprises & A VIDS Technology & called all three for negotiation on 17/5/2025 Blitzkrieg Audio Visual Pvt. Ltd. has quoted the lowest & is giving 3% discount hence it is recommended to issue the Work Order to Blitzkrieg Audio Visual Pvt. Ltd. of Rs.15,64,793/- + 18% GST - 2,81,663/- = Total 18,46,456/-

Indoor premier quality LED Comparison Statement						
No.	Description	Qty	Rate	Amount	Rate	Amount
			<b>Signified-Infra Tech Solutions</b>			<b>Blitzkrieg Audio Visual Pvt. Ltd.</b>
1	P2.5 indoor premier quality LED 8.4 ft. x 6.3 ft. = 53 ft. Resolution —1024p x 768p, including processor with SB+LAN+HDMI+Wi-Fi+16 GB memory	1	4,05,500	405500	5,87,588	5,87,588
2	Fabrication charges	1	21,500	21500	-	-
3	Handling and installation including transportation charges	1	8,500	8500	-	-
			<b>Total :</b>	<b>435500</b>		<b>587588</b>
			<b>CGST 9%</b>	<b>39,195</b>	<b>CGST 14%</b>	<b>82,262</b>
			<b>SGST 9%</b>	<b>39,195</b>	<b>SGST 14%</b>	<b>82,262</b>
			<b>Grand Total :</b>	<b>5,13,890</b>		<b>7,52,113</b>

**Note :** We have received 2 Quotation from Signified Infra Tech Solutions & Blitzkrieg Audio Visual Pvt. Ltd. & called both for negotiation on 17/5/2025. Signified Infra Tech Solutions has quoted the lowest hence it is recommended to issue the Work Order to Signified Infra Tech Solutions of Rs.4,35,500/- + 18% GST - 78,390/- = Total 5,13,890/-

## 1. Facility Readiness

- The Club now proudly presents one of the best Multipurpose Party Halls, equipped with acoustic sound treatment and modern amenities.
- Multipurpose functionality with room acoustic treatment being suitable both for seminars (voice clarity) as well as party hall (music - with wide volume / frequency range) settings.
- Noise levels from within this facility should be maintained within the noise limits at the boundary wall of the club as per Pollution Control Board norms.
- The facility is now open for members to host parties, DJ events, conferences, and gatherings named as **THE KALEIDO!**

Further, additional facilities were essential to meet the basic requirements of an event/function hall, including separate toilets for men and women, relocate medical store and fabric spa, adequate furniture, and dining facilities, to ensure proper and effective utilisation of the hall by club members. This need has been felt by those who booked The Kaleido after inauguration and used it. So, the budget needed for this has to be worked out in detail, if this august body provides principal approval for this, then we will work out the necessary technical and financial details.

## 2. Request to Members

Members are requested to **make full use of this new facility** and support the Club in its continued development.

### Following are the “THE KALEIDO” – Party Hall Charges

<b>“THE KALEIDO” – PARTY HALL CHARGES</b>			
<b>Sl. No.</b>	<b>Session</b>	<b>Timings</b>	<b>Charges + GST 18%</b>
1	Morning	7 am – 10.30 am	7,500
2	Lunch	11 am – 3.00 pm	15,000
3	High Tea	3 pm – 6 pm	7,500
4	Evening	6 pm – 10.30 pm	15,000
5	Morning to Evening	7 am – 6 pm	20,000
6	LED. Sound and Lighting. Two mics.		5,000
7	Outside DJ/Band		5,000

### Terms:

- DJ console to be brought by the DJ.
- Extra Mics, mics stand, laptops stand and keyboards stand to be brought by the DJ/Band.
- All the jacks and wires for the instruments to be brought by the DJ/Band.
- Club will not provide any of the above.
- Other than the above any other items brought from outside to be used in the hall with the prior permission of the Office only.
- No flammables can be used inside the party hall.

### 3. Photographs

*The following is a picture of the Multipurpose Hall:*



**BEFORE**



**AFTER**



## 2. RENOVATION OF ROOMS

### STATEMENT OF RENOVATION OF ROOMS - SGM SANCTION, WORK EXECUTED AND AMOUNT SPENT

(PAYMENT MADE DETAILS), AS ON 15/12/2025

(Amount in Rupees)

SGM dt 29/06/2024		SGM Sanction Amount	AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
I	SGM Sanction Budget dt 29/6/2024	4,50,00,000									
A	Contractor W.O- PRO-36/31.03.2025										
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil & Interior Work		1,81,75,666	32,71,620	2,14,47,286	7,09,254	1,27,666	8,36,920	6,90,818	1,24,347	8,15,165
2	Electrical Works		23,75,245	4,27,544	28,02,789	0	0	0	0	0	0
3	PHE Works		32,33,055	5,81,950	38,15,005	0	0	0	0	0	0
4	Structural Work		44,01,300	7,92,234	51,93,534	27,71,416	4,98,855	32,70,271	27,69,747	4,98,554	32,68,301
	Sub Total		2,81,85,266	50,73,348	3,32,58,614	34,80,670	6,26,521	41,07,191	34,60,565	6,22,902	40,83,467
	Rebate @ 8.3%		23,37,808	4,20,805	27,58,613	2,88,896	52,001	3,40,897	2,87,227	51,701	3,38,928
	Grand Total		2,58,47,458	46,52,542	3,05,00,000	31,91,774	5,74,519	37,66,294	31,73,338	5,71,201	37,44,539

### Additional Non-Tender retrofitting work

W.O- PRO-18/26.06.2025 (E.C dt 26/06/2025)			AS PER NON-TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Structural Work		40,26,027	7,24,685	47,50,712	15,37,767	2,76,798	18,14,565	15,37,767	2,76,798	18,14,565
	Sub Total		40,26,027	7,24,685	47,50,712	15,37,767	2,76,798	18,14,565	15,37,767	2,76,798	18,14,565
	Rebate @ 8.3%		3,34,160	60,149	3,94,309	1,27,635	22,974	1,50,609	1,27,635	22,974	1,50,609
	Grand Total		36,91,867	6,64,536	43,56,403	14,10,132	2,53,824	16,63,956	14,10,132	2,53,824	16,63,956

Additional Non-Tender Quantity Retro Fitting											
W.O- PRO- 46/03.11.2025 (E.C dt 31/10/2025)		AS PER NON-TENDER ADDITIONAL QTY WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)			
Sl No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Structural Work	17,42,215	3,13,599	20,55,814	17,42,215	3,13,599	20,55,814	17,42,215	3,13,599	20,55,814	
	Sub Total	17,42,215	3,13,599	20,55,814	17,42,215	3,13,599	20,55,814	17,42,215	3,13,599	20,55,814	
	Rebate @ 8.3%	1,44,604	26,029	1,70,633	1,44,604	26,029	1,70,633	1,44,604	26,029	1,70,633	
	<b>Grand Total</b>	<b>15,97,611</b>	<b>2,87,570</b>	<b>18,85,181</b>	<b>15,97,611</b>	<b>2,87,570</b>	<b>18,85,181</b>	<b>15,97,611</b>	<b>2,87,570</b>	<b>18,85,181</b>	
	<b>Sub TOTAL - A (TOTAL WORK ORDER ISSUED AND AMT SPENT)</b>	<b>4,50,00,000</b>	<b>3,11,36,936</b>	<b>56,04,648</b>	<b>3,67,41,584</b>	<b>61,99,518</b>	<b>11,15,913</b>	<b>73,15,431</b>	<b>61,81,082</b>	<b>11,12,595</b>	<b>72,93,676</b>
<b>B</b>	<b>Mobilization advance given to contractor against bank guarantee for M/s Sahaya Builders</b>							<b>28,88,483</b>	<b>0</b>	<b>28,88,483</b>	
	<b>Sub Total - B</b>							<b>28,88,483</b>	<b>0</b>	<b>28,88,483</b>	
C	Professional Fee	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Architect Fee 6%	27,32,852	4,91,913	32,24,765	18,90,000	3,40,200	22,30,200	18,90,000	3,40,200	22,30,200	
2	Third Party Architect 1%	4,55,475	0	4,55,475	2,09,276	0	2,09,276	2,09,276	0	2,09,276	
3	Structural Consultants	40,000	7,200	47,200	32,000	5,760	37,760	32,000	5,760	37,760	
4	Structural Consultants	50,000	9,000	59,000	0	0	0	0	0	0	
5	PHE Consultants	25,000	4,500	29,500	12,500	2,250	14,750	12,500	2,250	14,750	
6	Electrical Design & allied Services	1,10,000	19,800	1,29,800	55,000	9,900	64,900	55,000	9,900	64,900	

			Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
7	WPC Panel sample and delivery charges		11,000	0	11,000	11,000	0	11,000	11,000	0	11,000
8	Indian Institute of Science		1,68,750	30,375	1,99,125	1,68,750	30,375	1,99,125	1,68,750	30,375	1,99,125
	<b>Sub Total - C</b>		<b>35,93,077</b>	<b>5,62,788</b>	<b>41,55,865</b>	<b>23,78,526</b>	<b>3,88,485</b>	<b>27,67,011</b>	<b>23,78,526</b>	<b>3,88,485</b>	<b>27,67,011</b>
	<b>Grand Total (A+B+C)</b>	<b>4,50,00,000</b>	<b>3,47,30,013</b>	<b>61,67,437</b>	<b>4,08,97,450</b>	<b>85,78,044</b>	<b>15,04,398</b>	<b>1,00,82,442</b>	<b>1,14,48,091</b>	<b>15,01,080</b>	<b>1,29,49,170</b>
<b>Note</b>											
<b>1</b>	<b>As per Financial Books of account: amounts debited to WIP of Rooms renovations &amp; mobilisation advance till 15/12/2025</b>										
	“Capital Work in Progress” : Balance as per AGM approved Audited Financial statements for Financial Year 1.4.2024 to 31.3.2025 <b>23,09,850</b>										
	Amounts paid to the Contractors/others from 1.4.2025 to AGM held on 28.6.2025 for Rooms renovation debited to work in progress account <b>8,80,452</b>										
	Amounts paid to the Contractors/others from 29.6.2025 to till 15.12.2025 for Rooms renovation debited to work in progress account <b>68,70,385</b> <b>1,00,60,687</b>										
<b>2</b>	<b>Mobilisation Advance paid against Bank Guarantee</b>										
	<b>Grand Total amount paid to contractors &amp; others for Rooms renovation till 15.12.2025</b>										

  
C. N. Guruprasanna  
President

  
K. R. Paranjothi  
Vice President

  
Abishek Bogaram Arun Kumar  
Hon. Secretary

  
A. M. Raghavendran  
Hon. Treasurer

  
CA M. R. Krishna Murthy  
Immediate Past President

  
CA Ashwin B. U (Partner)  
For Mann & Co. Chartered Accountants  
Membership No. 233255 / FRN No - 0152055  
UDIN No. 25233255SZQCDL6894

### Renovation of Rooms

Two mock-up rooms were renovated as a model and based on that expenditure, the renovation of other 18 rooms project were taken up.

SGM Approval	29.06.2024
Budget	₹4,50,00,000 + GST ₹81,00,000 = ₹5,31,00,000
Newspaper Adv.	12.01.2025
Monitoring Sub-Com	19.02.2025
EC Meeting	25.02.2025
No. of bidders	6
Names of the bidders	<p>1.M/s. Sahaaya Builders and Developers Pvt. Ltd. With a initial Bid of ₹ 2,58,47,458/- + GST</p> <p>2.M/s. Sai Keerthan Constructions. With an initial Bid of ₹3,20,69,130/- + GST</p> <p>3.M/s. Bharani Engineering Constructions. With an initial Bid of ₹3,23,87,553/- + GST</p> <p>4.M/s. Bhoomi Enterprises. With an initial Bid of ₹4,00,60,045/- + GST</p> <p>5.M/s. V Craft Interiors With an initial Bid of ₹3,97,85,054/- + GST</p> <p>6.M/s. Sycone CPMC. With an initial Bid of ₹5,10,86,634/- + GST</p>
Negotiation by EC, OB & Monitoring Sub Committee	27.03.2025
Contractor who won the bid	M/s. Sahaaya Builders and Developers Pvt. Ltd. For the lowest bid amount of ₹2,58,47,458/- + GST
Letter of Intent issued on	21.03.2025
Time schedule	Commence from 03.04.2025 and complete within 150 days and handover before 30.08.2025
Bhoomi Pooja	02.04.2025
<b>Total Contract Value Issued to M/s. Sahaaya Builders and Developers Pvt. Ltd.</b>	<b>₹3,11,36,936/- + GST ₹56,04,648/- = ₹3,67,41,584/-</b>

Contract Amount as per the Tender	₹2,58,47,458/- + GST ₹46,52,542/- = ₹3,05,00,000/-
Contract Amount of Retrofitting work Non-Tender	₹36,91,867/- + GST ₹6,64,536/- = ₹43,56,403/-
Contract Amount of Retrofitting work Non-Tender	₹15,97,612/- + GST ₹2,87,570/- = ₹18,85,182/-
Additional Quantity	
<b>Total</b>	<b>₹3,11,36,937/- + GST ₹56,04,648/- = ₹3,67,41,584/-</b>
Architect Fee 6%	₹27,32,852/- + GST ₹4,91,913/- = ₹32,24,765/-
Third Party Architect Fee 1%	₹4,55,475/- + GST ₹0/- = ₹4,55,475/-
Other Professional charges	₹4,04,750/- + GST ₹70,875/- = ₹4,75,625/-
Total Work Orders issued by the Club	₹3,47,30,013/- + GST ₹61,67,436/- = ₹4,08,97,449/-
<b>Project Amount Spent</b>	<b>₹ 1,14,48,091/- + GST ₹15,01,080/- = ₹1,29,49,170/- as on 15/12/2025</b>
Bought-out item estimate only. Items are yet to be procured & the work order has not been issued.	₹1,60,07,810/- + GST ₹28,81,406/- = ₹1,88,89,216/-
<b>Additional Sanction Required</b>	
a.) Retrofitting work: As mentioned in SGM dt 28/06/2025	a.) ₹53,00,000/- + GST ₹9,54,000/- = ₹62,54,000/- Subject placed before the SGM 4/1/26
b.) Mock Rooms (2 nos.): Additional work due to retrofitting	b.) ₹20,00,000/- + GST ₹3,60,000/- = ₹23,60,000/- Impact of retrofitting work
c.) Contingency	c.) ₹45,00,000/- + GST ₹81,00,000/- = ₹53,10,000/-
<b>Total</b>	<b>Total ₹1,18,00,000/- + GST ₹21,24,000/- = ₹1,39,24,000/-</b>

## **Brief Note– Guest Rooms Project**

The guest rooms renovation and upgradation were approved by the SGM in its meeting held on 29.06.2024 with a budget of ₹450.00 lakhs + GST. The task of preparing the detailed estimates, BOQ and tender documents were entrusted to the principal architect of the Club taking in to consideration of initial observations of Structural consultant M/S Nagesh Consultants.

Subsequently a newspaper advertisement in Times of India and Prajavani were issued on 12.1.2025, calling for tenders by the interested vendors.

There were 6 tenderers and the they were called before the, Monitoring subcommittee on 19/2/2025 & negotiated the rates & the Monitoring subcommittee recommended M/s. Sahaaya Builders and Developers Pvt. Ltd. & M/s Sai Keerthan Constructions as L1 & L2 respectively for consideration. On further negotiation M/s. Sahaaya Builders and Developers Pvt. Ltd., emerged as the lowest bidder. The contract was awarded to them.

The Letter of Intent (LOI) for the renovation work was issued on 21.03.2025, followed by the Work Order dated 31.03.2025. As per the terms and conditions of the Work Order, the project was to be completed within 150 days. The Bhumi Pooja was conducted on 02.04.2025, and work commenced on the same day.

During the initial phase of execution, while dismantling a portion of an existing wall, it was observed that several structural columns required attention and reinforcement. Based on the advice of the Principal Architect, the Club sought the opinion of a Structural Engineer. The Structural Engineer (Consultant), after inspection, concluded that reinforcement of the columns was essential for the safety and stability of the structure.

In view of the seriousness of the structural condition, the Monitoring Committee decided to obtain a second opinion. The second Structural Engineer also recommended strengthening works for the columns, beams, and related structural elements.

Considering both expert opinions, and keeping in mind that the building is over 50 years old and that the Club is making a significant investment in the renovation, the Executive Committee, in its meeting held on 26/06/25 resolved to proceed with the required retrofitting and strengthening works to ensure structural safety and to enhance the longevity of the building, by passing the Resolution, i.e. “Resolved unanimously to issue work order to M/s Sahaya Builders and Developers for ₹ 58,26,649/- incl GST (₹ 49,37,838/- + GST ₹8,88,810.84 = ₹58,26,649/-) for additional work for non-tendered items for retrofitting structural works for columns towards renovation of Guest Rooms and decided that the additional cost incurred towards retrofitting structural work shall be placed before the General Body for ratification”. The same has been negotiated with the contractor for additional discount and reduced to ₹ 36,91,867/- + GST ₹6,64,536/- = ₹43,56,403/- + additional ₹ 15,97,612/- + GST ₹2,87,570/- = ₹18,85,182/- totalling ₹52,89,478/- + GST ₹9,52,106/- = ₹62,41,585/-

As of date, the following payments have been released towards the renovation and associated consultancy works:

- A total amount of ₹ 86,28,949 + GST ₹15,53,211/- = Total ₹ 1,01,82,160/- has been paid to the contractor against the ongoing renovation work and structural retrofitting and strengthening works.

- A sum of ₹ 18,90,000 + GST ₹3,40,200/- = Total ₹ 22,30,200/- has been paid to the Principal Architect towards preparation of architectural drawings, supervision, and related professional services.
- An amount of ₹ 2,09,276 + GST ₹0/- = Total ₹ 2,09,276/- has been released to the *Third-Party Chartered Engineer* engaged for independent technical review.
- An advance of ₹ 32,000 + GST ₹5760/- = Total ₹ 37,760/- has been paid to the Structural Consultant for site visits and technical guidance.
- A further ₹ 67,500 + GST ₹12,150/- = Total ₹ 79,650/- has been paid towards professional charges to the PHE Consultant and the Electrical Design Consultant.
- An amount of ₹1,68,750/- + GST ₹30,375/- = Total ₹1,99,125/- paid to Indian Institute of Science, Bangalore towards professional fee for opinion on structure.

The Club Management is committed to ensure that the renovation work is carried out with due diligence, technical rigor, and compliance with safety standards.

The additional costs incurred towards retrofitting and professional consultancy were essential in view of the structural deficiencies discovered during execution and the need to secure the long-term stability of the building.



**CENTURY CLUB**  
**COMPARATIVE STATEMENT OF TENDER DOCUMENTS - RENOVATION OF GUEST ROOMS**

Sl. No.	Particular	Estimation			L-1			L-2			L-3			L-4			L-5			L-6			
		Sahaaya Builders and Developers Pvt. Ltd			Sai Keerthan Constructions			Bharani Engineering Const.			Bhoomi Enterprises			Vcraft Interiors			Sycone CPMC						
		Basic	GST	Total	Basic	GST 18%	Total	Basic	GST 18%	Total	Basic	GST 18%	Total	Basic	GST 18%	Total	Basic	GST 18%	Total	Basic	GST 18%	Total	
1	Civil work	1,74,43,810	31,39,886	2,05,83,696	1,81,75,666	32,71,620	2,14,47,286	2,18,25,626	39,28,613	2,57,54,239	1,95,42,546	35,17,658	2,30,60,204	2,44,25,976	43,96,676	2,88,22,652	2,49,61,089	44,92,996	2,94,54,085	3,72,72,796	67,09,103	4,39,81,899	
2	Interior work		-	-		-	-		-	-		-	-		-	-		-	-		-	-	
3	Electrical work	23,04,623	4,14,832	27,19,455	23,75,245	4,27,544	28,02,789	31,24,099	5,62,338	36,86,437	38,49,739	6,92,953	45,42,692	40,55,150	7,29,927	47,85,077	56,14,651	10,10,637	66,25,288	39,42,630	7,09,673	46,52,303	
4	PHE Work	43,03,275	7,74,590	50,77,865	32,33,055	5,81,950	38,15,005	20,80,835	3,74,550	24,55,385	38,08,122	6,85,462	44,93,584	30,29,619	5,45,331	35,74,950	59,02,244	10,62,404	69,64,648	41,42,100	7,45,578	48,87,678	
5	Structural work	33,64,912	6,05,684	39,70,596	44,01,300	7,92,234	51,93,534	50,13,146	9,02,366	59,15,512	51,87,146	9,33,686	61,20,832	85,49,300	15,38,874	1,00,88,174	33,07,070	5,95,273	39,02,343	57,29,108	10,31,239	67,60,347	
	<b>Sub-total</b>	<b>2,74,16,620</b>	<b>49,34,992</b>	<b>3,23,51,611</b>	<b>2,81,85,266</b>	<b>50,73,348</b>	<b>3,32,58,614</b>	<b>3,20,43,706</b>	<b>57,67,867</b>	<b>3,78,11,573</b>	<b>3,23,87,553</b>	<b>58,29,759</b>	<b>3,82,17,312</b>	<b>4,00,60,045</b>	<b>72,10,808</b>	<b>4,72,70,853</b>	<b>3,97,85,054</b>	<b>71,61,310</b>	<b>4,69,46,364</b>	<b>5,10,86,634</b>	<b>91,95,594</b>	<b>6,02,82,228</b>	
	add 30,000	-	-	-	-	-	-	25,424	4,576,27	30,000	-	-	-	-	-	-	-	-	-	-	-		
	<b>Total</b>	<b>2,74,16,620</b>	<b>49,34,992</b>	<b>3,23,51,611</b>	<b>2,81,85,266</b>	<b>50,73,348</b>	<b>3,32,58,614</b>	<b>3,20,69,130</b>	<b>57,72,443</b>	<b>3,78,41,573</b>	<b>3,23,87,553</b>	<b>58,29,759</b>	<b>3,82,17,312</b>	<b>4,00,60,045</b>	<b>72,10,808</b>	<b>4,72,70,853</b>	<b>3,97,85,054</b>	<b>71,61,310</b>	<b>4,69,46,364</b>	<b>5,10,86,634</b>	<b>91,95,594</b>	<b>6,02,82,228</b>	
	Less discount 10%	-	-	-	-	-	-	-	-	-	-	-	-	40,06,004.50	7,21,081	47,27,085	-	-	-	-	-	-	
	Less discount 12%	-	-	-	-	-	-	38,48,295.56	6,92,693	45,40,989	-	-	-	-	-	-	-	-	-	-	-	-	
	Less discount 8.30%	-	-	-	23,37,808	4,20,805	27,58,613	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	Less discount 3%	-	-	-	-	-	-	-	-	9,71,626.58	1,74,893	11,46,519	-	-	-	11,93,551.62	2,14,839	14,08,391	-	-	-	-	-
	<b>Total after discount</b>	<b>2,74,16,620</b>	<b>49,34,992</b>	<b>3,23,51,611</b>	<b>2,58,47,458</b>	<b>46,52,542</b>	<b>3,05,00,000</b>	<b>2,82,20,834</b>	<b>50,79,750</b>	<b>3,33,00,584</b>	<b>3,14,15,926</b>	<b>56,54,867</b>	<b>3,70,70,793</b>	<b>3,60,54,041</b>	<b>64,89,727</b>	<b>4,25,43,768</b>	<b>3,85,91,502</b>	<b>69,46,470</b>	<b>4,55,37,973</b>	<b>5,10,86,634</b>	<b>91,95,594</b>	<b>6,02,82,228</b>	

II	Bought out Item (Estimate)	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216	1,60,07,810	28,81,405.80	1,88,89,216
	<b>Sub total</b>	<b>4,34,24,430</b>	<b>78,16,397</b>	<b>5,12,40,827</b>	<b>4,18,55,268</b>	<b>75,33,948</b>	<b>4,93,89,216</b>	<b>4,42,28,644</b>	<b>79,61,156</b>	<b>5,21,89,800</b>	<b>4,74,23,736</b>	<b>85,36,272</b>	<b>5,59,60,008</b>	<b>5,20,61,851</b>	<b>93,71,133</b>	<b>6,14,32,984</b>	<b>5,45,99,312</b>	<b>98,27,876</b>	<b>6,44,27,189</b>	<b>6,70,94,444</b>	<b>1,20,77,000</b>	<b>7,91,71,444</b>
	Architect Fee 6%	26,05,465.78	4,68,983.84	30,74,449.62	25,11,316.08	4,52,036.89	29,63,352.97	26,53,718.65	4,77,669.36	31,31,388.00	28,45,424.16	5,12,176.35	33,57,600.50	31,23,711.03	5,62,267.99	36,85,979.02	32,75,958.74	5,89,672.57	38,65,631.32	40,25,666.64	7,24,620.00	47,50,286.64
	Third Party Architect 1%	4,34,244.30	78,163.97	5,12,408.27	4,18,552.68	75,339.48	4,93,892.16	4,42,286.44	79,611.56	5,21,898.00	4,74,237.36	85,362.72	5,59,600.08	5,20,618.51	93,711.33	6,14,329.84	5,45,993.12	98,278.76	6,44,271.89	6,70,944.44	1,20,770.00	7,91,714.44
	<b>Total project Cost</b>	<b>4,44,64,140</b>	<b>83,63,545</b>	<b>5,48,27,685</b>	<b>4,47,85,137</b>	<b>80,61,325</b>	<b>5,28,46,461</b>	<b>4,73,24,649</b>	<b>85,18,437</b>	<b>5,58,43,086</b>	<b>5,07,43,397</b>	<b>91,33,812</b>	<b>5,98,77,209</b>	<b>5,57,06,180</b>	<b>1,00,27,112</b>	<b>6,57,33,292</b>	<b>5,84,21,264</b>	<b>1,05,15,828</b>	<b>6,89,37,092</b>	<b>7,17,91,055</b>	<b>1,29,22,390</b>	<b>8,47,13,445</b>
	SGM SANCTION on 29.06.24	4,50,00,000			4,50,00,000			4,50,00,000		4,50,00,000		4,50,00,000		4,50,00,000		4,50,00,000		4,50,00,000		4,50,00,000		
	<b>Difference Between SGM sanction and Tender value</b>	<b>14,64,140</b>			<b>-2,14,863</b>			<b>23,24,649</b>			<b>57,43,397</b>			<b>1,07,06,180</b>			<b>1,34,21,264</b>			<b>2,67,91,055</b>		

**Note:**

\* All Tenderers M/s. Sahaaya Builders & Developers Pvt. Ltd., M/s. Sai Keerthan Constructions, M/s. Bharani Engineers & Constructions Pvt. Ltd., M/s. Vcraft Interiors, M/s. Bhoomi Enterprises, M/s. Sycone CPMC Pvt. Ltd., were called before the Monitoring Sub-Committee on 19.02.2025 and negotiated the rates. The Monitoring Sub-Committee recommended the M/s. Sahaaya Builders & Developers Pvt. Ltd (L1) at Rs.3,22,70,585/- (incl. GST) and M/s. Sai Keerthan Constructions (L2) at Rs.3,50,30,455/- (incl. GST).

\* For EC Meeting 25.02.025, both M/s. Sahaaya Builders & Developers Pvt. Ltd (L1) and M/s. Sai Keerthan Constructions (L2) were called and negotiated. M/s. Sahaaya Builders & Developers Pvt. Ltd agreed for Rs.2,63,55,932/- + 18% GST of Rs.47,44,068/-, amounting **Rs.3,11,00,000/- (incl. GST)** and M/s. Sai Keerthan Constructions agreed for Rs.2,91,82,908/- plus 18% GST of Rs.52,52,924/-, amounting **Rs.3,44,35,831/- (incl. GST)**. Both the vendors were asked to submit their final quote.

\* The Executive Committee in its Special meeting held on 15.03.2025 formed a core committee headed by Mr. Basavaraju Y. K. along with Mr. P. V. Karthik, Mr. K. J. Paritosh, Mrs. P. Laxmi Priya, Site Engineer and third party architect Mr. B. P. Sridhara Murthy to have site visit the constructed place of M/s. Sahaaya Builders & Developers Pvt. Ltd.

\* The Core Committee had done a site visit on 23.03.2025 and submitted a report stating that the quality of work executed and the quality of fixtures and furnitures used and provided in the renovation project at ITC-Fortune at Hosur executed by M/s. Sahaaya Builders & Developers Pvt. Ltd. is more than satisfactory.

\* Finally, M/s. Sahaaya Builders & Developers Pvt. Ltd quoted Rs.2,58,47,458/- + 18% GST of Rs.46,52,542/-, amounting **Rs.3,05,00,000/- (incl. GST) - L1** and M/s. Sai Keerthan Constructions quoted Rs.2,82,20,834/- + 18% GST of Rs.50,79,850/-, amounting **Rs.3,33,00,584/- (incl. GST) - L2**.

\* The rates quoted by M/s. Sahaaya Builders & Developers Pvt. Ltd. of Rs.2,58,47,458/- + 18% GST of Rs.46,52,542/-, amounting **Rs.3,05,00,000/- (incl. GST)** is the lowest.

\* The Executive Committee in its meeting held on 27.03.2025 discussed in detail and approved to issue Work Order to M/s. Sahaaya Builders & Developers Pvt. Ltd. for Rs.2,58,47,458/- + 18% GST of Rs.46,52,542/-, amounting **Rs.3,05,00,000/- (incl. GST)** towards renovation of Guest Rooms.

## **Brief Technical Report – Guest Rooms Project**

### **A) Tendering**

Primary objective is to evaluate the structure's design parameters, ensuring safety and serviceability. Conduct detailed adequacy check of the existing structure, focusing on Load-carrying capacity, Stability, Compliance with relevant design codes and standards (e.g., IS codes)

The Project Monitoring Sub-Committee meeting held on 8.10.2024 discussed in detail and decided to get an opinion of structural stability of the guest rooms building and recommended for appointing M/s. Nagesh Consultants as Consulting Civil and Structural Engineer.

In order to get the true picture, about the adequacy of existing structural system of the complex and its ability to resist the basic load and load combination as per IS-875-1987 & IS-1983.

Accordingly, the subject was placed before the EC meeting held on 10.10.2024, discussed and approved M/s. Nagesh Consultants as Consulting Civil and Structural Engineer.

The consultants, M/s. Nagesh Consultants were appointed for the project.

During the tendering process, M/s Nagesh Consultants recommended certain retrofitting works for the Guest Rooms Block. The scope of work included removal of masonry walls around columns and beams to facilitate retrofitting, surface preparation of existing columns, drilling and fixing of shear connectors in concrete, steel fabrication, application of bonding epoxy prior to concreting, supply and installation of shuttering, free-flow micro-concreting (M30 grade), carbon fiber wrapping with epoxy, U-carbon wrapping with epoxy, and structural plastering.

The cost of the above retrofitting works was estimated at ₹30,15,492/- and was included in the original tender BOQ.

Subsequently, based on actual site conditions observed during execution, M/s Nagesh Consultants have submitted a revised estimate for the retrofitting works amounting to ₹70,41,956/- plus applicable GST. Accordingly, there is an additional financial implication of ₹40,26,464/- over and above the original tender BOQ.

In the SGM held on 28.06.2025 President CA M.R. Krishna Murthy has brought to the notice of the member that an additional cost of ₹50,00,000/- is required for retrofitting work.

**Quote:-** ***“President, CA. M. R. Krishna Murthy: Renovation of Rooms, Work order issued to M/S Sahaya builders Work is under progress. But, in this case I would like to brief the August Body that we had lot of issues connected to the strengthening of the beams and the pillars Particularly honeycomb so many are there and for that whatever we have to do it, we have to taken 2 to 3 opinions from the structural engineers Because the building has to stand for about 30 to 40 years and the Monitoring Committee has helped us a lot on this account and we have finalised other day. Even the structural strengthening work is started already and delay for a while is only for that reason, otherwise we would have continued the work without any delay. Anyhow that's the work already on the process and it will be done.”***

***Members: Okay.”***

**“President, CA. M. R. Krishna Murthy:** The cost of that additional retrofitting work strengthening of the beams and the pillars may go up to 50 lakhs. Whatever the sanctioned amount beyond that it may go up to 50 lakhs because... nothing but strengthening. The Monitoring Committee has gone through all these issues in depth and they are every week they have visited the site and examined and they have given the suggestions for us. In fact we thank them.

**Members:** Members clap.

**Mr. N. Umesh (SU7):** The issue was, the building was constructed way back. But later on after the earthquake in Gujarat and Maharashtra the seismic rating of Bangalore was increased. So the old building was designed based on the earlier seismic standards. Now, the current standards need a better bigger foundation and columns and beams and all that. We can't dismantle the building and redo the whole building. So what has been done is to strengthen columns and beams with a new technology so that we can retain that building. But this is become an addition this was not there when it was proposed in the SGM. This is the additional. Technical reason is this.”

#### **B) Start of Demolition and construction and First Phase of Retrofitment**

Subsequently after the Contractor was finalised and awarded and work started and after noticing certain deficiencies in the Column ,M/S Nagesh undertook deeper study.

Extensive corrosion and leakages were discovered in the guest room building structure.

M/s. Nagesh Consultants carried out a detailed study of the entire building and submitted a comprehensive report on the existing Ground Floor, 1st Floor and 2nd Floor of the guest room block. The report recommended additional retrofitting works to strengthen the structure and ensure safety and serviceability. The consultant has suggested restoration of columns and particularly slabs in bathroom areas where severe corrosion and leakage were observed. They have advised implementation of the proposed retrofitting scheme to maintain the overall structural integrity of the guest room building.

The structural consultant M/s. Nagesh Consultants submitted an estimated cost of retrofitment required for guest room blocks as per technical requirement, the technical report **ANNEXURE – I**. This additional cost amounted to non-tendered items.

Initially it was recommended by the consultants to get **NDT** done using various equipment's like:

1. Ultra-pulse velocity (to assess concrete quality and detect internal defects)
2. Rebound Hammer test – to measure the compressive strength of concrete
3. Cover meter test – to determine the concrete thickness and reinforcement location

As per the requirements, the NOT at site was done and based on the **NDT** test flowing results were obtained:

- a) Foundation – Rebound Hammer Test conducted
- b) Remarks – **Foundation concrete quality is good**
- c) Columns & Beams – Instrument used ultrasonic pulse velocity test
- d) Columns & Beams – **Concrete quality is good**

To get clear picture about adequacy of column footing, columns and beams, the structure was analyzed using E-tabs software and following were the results of analysis:

- Remarks – Footing size and depth, found that foundation was safe and okay.
- Columns – The existing column size of 230mm x 450mm at GF, FF & SF is inadequate.
- Beams – Area of steel reinforcement required as 2613 mm<sup>2</sup> and Area of steel reinforcement provided was 1964 mm<sup>2</sup>

Hence the retrofitting of columns and beams became necessary. The consultants after having considered all the existing conditions and test results suggested the following remedial measures:

- 1) Column cross section to be increased by column jacketing, additional reinforcement and shear connectors.

Initially the suggested revised column size was 600 mm x 380 mm. Due to the site conditions (column From one level to another being not in plumb), the consultant increased the cross section from 600 x 380 to 650 x 430 and reinforcement pattern from 12-25 tor was reduced to 8-25 tor consequently.

In order to get homogeneity between the old and new concrete, Nito bond paint was applied over the old cross section.

- 2) In order to make up for 649 mm<sup>2</sup> of steel for reinforcement, carbon laminate was proposed (50 mm wide x 1.4 mm thick).
- 3) Construction deficiencies were seen during to the site inspection, where cracking of concrete, corrosion in the columns reinforcement, electrical conduits were enclosed in columns (all the photographs highlighting this is in the report). In the sunken slab portion in the ground floor and upper floors the cover is not provided and reinforcement is corroded. The beams were removed below the brick work in upper floor has no cover for reinforcement, lot of honeycombs, corrosion of reinforcement had started. After examination and studying the existing conditions, the sunken and beam bottom were suggested with special treatment.

#### Treatment proposed for beams bottom and sunken slabs:

- 1) Remove the existing BBM below the Beam for 45 cms depth
- 2) Remove loose concrete in cover zone at slabs and beams
- 3) Apply anti-corrosive paint to exposed reinforcement
- 4) Place 2" x 2" weld mesh for the same in position using connectors at 1 mtr c/c
- 5) Finish and plaster with structural grade plaster using polymer modified compound

- Earlier in the SGM meeting held on 29.06.2024, had sanctioned an amount of ₹4.50 crores for the renovation of rooms, which included the ground, 1st & 2nd floor passage area & lobby, front elevation. Replacement of furniture & fixtures, bath fitting & fixtures, replace of air conditioners & televisions, hot

water systems, increase of area of bath rooms with additional care to ensure that there are no water leakages and also removal of old uncapped plumbing/water lines & other cable, by demolishing and reconstructing the common wall.

- The total Retrofitting works estimated cost of ₹70,41,956/-, less ₹30,15,492 which was considered in the original tender. The additional quantity of non-tendered items is ₹40,26,264/- M/s. Nagesh Consultants given revised BOQ for retrofitting works for ₹40,26,464/- and the same has been negotiated with the contractor and reduced by 8.30% which is amount to ₹3,34,196/- and the Work Order issued for ₹36,92,268/- + GST. After completion of the columns jacketing the additional quantity for retrofitting works has been increased of ₹17,42,215/- with less rebate of ₹1,44,604 = ₹15,97,611/- + GST= Total ₹52,89,879/- (₹36,92,268/- + ₹15,97,612/-). Hence the addition sanction for retrofitting works will be ₹53 lakhs. Refer ANNEXURE – II

Bill of Quantities for Retro Fitting works as per M/s Nagesh Consultant						
Cost Comparison Between Tender and Revised Qty						
Sl. No.	Description	As Per Tender Amount	As Per Site Amount	Nontender Additional Amount	Discount Amount	Total Amount
1	Retro fitting as per tender Total	30,15,492	70,41,956	40,26,464	3,34,196	36,92,268
2	Additional Quantity of retro fitting work for column jacketing after the work completion			17,42,215	1,44,604	15,97,611
	<b>Total</b>	<b>30,15,492</b>	<b>70,41,956</b>	<b>57,68,679</b>	<b>4,78,800</b>	<b>52,89,879</b>

- M/s. Sahaaya Builders and Developers Pvt. Ltd were asked to submit the quotation for non-tendered items. They have submitted quote of ₹49,37,838/- + GST ₹8,88,811/- = Total ₹58,26,649/- The M/s Cube architect and third-party independent consultant/architect representing the club Sri. Sridhar murthy have verified the quote. Thus the quotation stands reduced to ₹40,26,464/-+GST after reduction of ₹2,03,910/- + GST. M/s. Sahaaya Builders and Developers Pvt. Ltd has been called before OB meeting on 25.06.2025 and negotiated for an additional discount of 8.3% of ₹3,34,196/- and reduced to ₹36,92,266/- + GST ₹ 6,64,608/- = Total ₹43,56,874/- Total work order value has been approved in the EC meeting held on 26.06.2025. Work order issued to M/s. Sahaaya Builders and Developers Pvt. Ltd. For ₹43,56,874/-.

Following are the reasons to enunciate the increase in cost of Retrofitting work:

- After completion of the columns jacketing the additional quantity for retrofitting works has been increased of ₹15,97,612/- + GST ₹2,87,570/- = Total ₹18,85,182/- work order issued to M/s. Sahaaya Builders and Developers Pvt. Ltd. For ₹18,85,182/- inclusive of GST.
- An additional amount of Rs.17,42,215/- Tendered and Non- Tendered Retrofitting work has increased in the column jacketing, the original estimate on 18 columns were taken as against 20 columns in both first floor & second floor. The actual height of the first floor & second floor is 3.2 mtrs & 3.3 mtrs respectively whereas the survey drawings showed 3 mtrs. In the ground floor the column jacketing was done for 12 columns upto 2.2 mtrs the balance height of 1.97 mtrs was jacketed in the present work & 8 columns in the ground floor were jacketed right from the pedestal level where the average height is 4.25 mtrs. For the 8 columns which were jacketed earlier the column cross section was 600\*380 and the remaining 8 columns started from the pedestal the cross section maintained there was 650\*430. In order to maintain the vertical alignment to the column (the alignment had gone out by 50mm), the column cross section in the upper two floors as suggested by the consultant was maintained at 650\*430.

The steel for reinforcement in all the columns were additional. The shear connector's quality got increased. Surface preparation and epoxy coating in the complete ground floor become additional. The survey drawing showed the height of FF & SF as 3.0 mtrs (which was considered in the estimate) where as actual height of FF & SF is 3.20 mtrs and 3.30 mtrs respectively. Hence the quantities viz., surface preparation, epoxy coating, column concrete, steel and shear connector all got increased. The brick masonry around the columns was removed, to get the working space. The same has to be constructed, plastered and painted all this resulted in the increase in overall cost of retrofitting work.

Non-tendered items: The brick masonry using table moulded bricks is not in the tender, to match the existing detail, this activity needs to be complete and existing market rate is considered. Structural plastering using a special admixture along with cement mortar was suggested by the consultant after finalization of the tender. Hence this is another non-tendered item. Additional treatment like making hole to anchor the reinforcement and to continue the vertical alignment of reinforcement, by making holes in the slabs was suggested by the consultant in one of the site visit after the finalization of the tender. Hence the additional quantity of tendered and non-tendered item has increased for ₹17,42,215/. The contractor has given rebate of 8.3% amounting to ₹1,44,604/. Hence the W.O. of ₹15,97,612/- + GST, has been given to M/s. Sahaya builders a totalling of ₹52,89,879/- was issued for retrofitting work. The work on Retrofitting of columns proceeded, to have integrity of the whole building Monitoring subcommittee took a decision to retrofit the columns in the two rooms which were mock-up rooms which were already completed before this project. Totally 60 Columns were retrofitted on Ground, First and Second Floors.

### C) Second Phase of Retrofitment

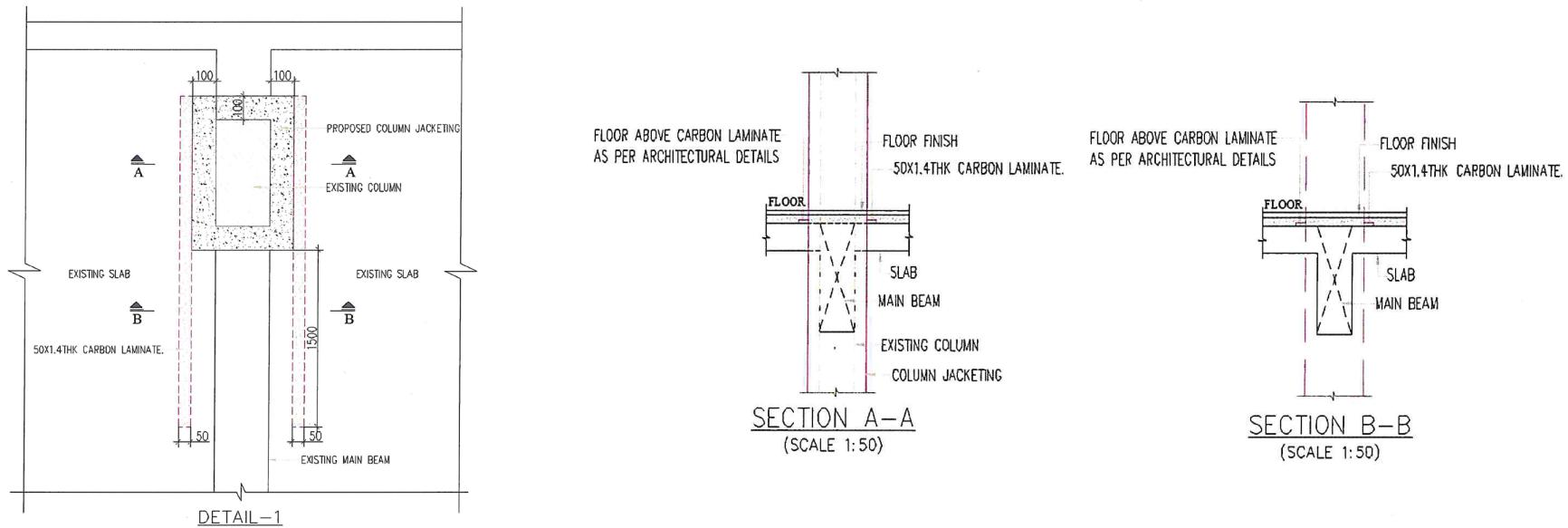
Once the Column retrofitting were completed, the suggestion of M/S Nagesh structural consultants was to dismantle all the walls below all the beams, and then the beams should be inspected and then only further actions could be suggested.

#### **M/s Nagesh Consultant Report: -**

**Guest room block** - Retro fitting dismantling work completed, M/s Nagesh Consultant visited the site and observed that there was a honey comb & cavities in the beams and corrosion in some part of the areas of exposed rods and some of the areas cover zones strength was not sufficient. He suggested beam bottom has to be treated along with the column and other works. Remove the existing beam bottom below the Beam for 45 cms depth, remove loose concrete in cover zone at slabs and beams, apply anti-corrosive paint to exposed reinforcement, Place 2" x 2" weld mesh for the same in position using connectors at 1 mtr c/c, Finish and plaster with structural grade plaster using polymer modified compound. In this connection M/s Nagesh Consultant has given the revised report on 13.10.2025 for ₹ 1,04,28,139/. **ANNEXURE – III**

#### **Beam strengthening: -**

1. Provide support to existing main beams & secondary beams
2. Jacketing shall be done with the micro concrete up to first floor RCC slab level after fixing the reinforcement as per drawing.
3. Cut 25 x 25mm grove in existing columns as shown in drawings & clean the surface.
4. Provide & fix the carbon laminate as show on the sketch as per vendor details.
5. Continue the column jacketing up to SF RCC slab level and repeat the steps 2 to 4.
6. Repeat above procedure till terrace level.



Then the Executive committee has decided to take second opinion regarding the additional revised retro fitting work of ₹ 1,04,28,139/-.

The President had approached Mr Umesh Rao a member of our Club, and also a well-known structural expert. Mr Umesh Rao visited the site and also studied M/s Nagesh Consultant report and gave his opinion on retrofitting of the Club rooms. **ANNEXURE IV**

At this stage N.Umesh of Monitoring subcommittee insisted on a review by Indian Institute of Science to provide a clear guideline as to the correct approach to be taken.

The office bearers approved this approach and a quote was requested from IISC for this work.

In the mean time President of Century club requested Mr.Umesh Rao a reputed Civil Engg consultant to inspect the premises and give his opinion.

#### **Mr. Umesh Rao Report: -**

*1.M/s. Nagesh Consultants report is excellent and exhaustive. But it is for Retrofitting only. In Retrofitting, It is considered the revised of Indian Codes updated as on date. 2.In his opinion instead of retrofitting, is restoring the building considering deterioration, repairs need to be considered taking into account age of the building which is stated to be about 40years old. 3.Based on his site visit and inspection, he did not observe any cracks or distress in structural elements nor any signs of corrosion. Hence, as mentioned in M/s. Nagesh Consultants report, Slab restoration work as mentioned in the report may be done. 4.At the interface of bottom of beam and top of brick walls, holes to be drilled at 450mm centre to centre and inject with low viscosity grouts.*

The Indian Institute of science agreed to inspect and Provide a report and quoted Rs.1,99,125/= which was approved by OB.

Indian Institute of Science deputed DR J. M. CHANDRA KISHEN PROFESSOR OF DEPT. OF CIVIL ENGINEERING, INDIA INSTITUTE OF SCIENCE, BANGALORE

#### **INDIAN INSTITUTE OF SCIENCE REPORT :**

Summary of the report of **INDIAN INSTITUTE OF SCIENCE** indicates that the revised retro fitting work of “*the guest house building comprising of ground plus two upper floors is structurally stable. No structural defects in the form of beam deflections, cracking in beams and columns or settlement of foundations has been observed. The retrofitting work as mentioned in this document would ensure that the building will serve its intended use without losing its structural stability and integrity.*” **ANNEXURE – V**

- The President approached **DR J. M. CHANDRA KISHEN PROFESSOR OF DEPT. OF CIVIL ENGINEERING, INDIA INSTITUTE OF SCIENCE, BANGALORE**. Dr J. M. Chandra Kishen visited the club on Nov 21st 2025 and studied M/s Nagesh Consultant report and site condition and he made following observation: *A few infill walls on the ground floor in the entrance area were removed, All the columns were strengthened through encasement from the top of footings, The brick masonry wall adjoining the columns had been broken up to the beam bottom to facilitate the strengthening of columns. The bottom reinforcing steel in most of the beams were seen to be exposed and had no concrete cover. Honeycombing and voids were observed at the bottom of the concrete beams, The beams were hit by a hammer to get a feel on the soundness of concrete inside. A good metallic sound was heard indicating no voids or honeycombs inside. In addition, the quality of concrete appeared to be good, Some amount of corrosion was seen on the exposed steel bars in the beams, Extension of the toilet slab was being done by extending the steel reinforcement on a sacrificial shutter placed on a steel girder below, Two layers of flooring had been removed from the floor slab — one the original granite slab and the other being a wooden overlay, The condition of the floor slab appeared to be sound.*

#### **Following are the Recommendations from Dr J. M. Chandra Kishen:**

Based on the visual inspection and the non-destructive test report, the following recommendations are made to retrofit the guest house building in order to make it safe for the functions it is designed for.

**Foundations** — no intervention is required for the foundation footings. After the encasement of columns, the soil should be filled back up to the ground / plinth level in layers of 200 mm and well compacted. Water may be added during the backfilling of soil.

**Columns** —the ongoing encasement of the columns with micro concrete should be continued and completed.

**Beams** — since honeycombing and loss of concrete cover are observed at the bottom of the beams, these need to be addressed through injection of cementitious grout under pressure. The following procedure may be adopted. This applies only for the beams which are exposed either due to encasement of columns or for testing or other purpose. All other beams which are not exposed and with walls below them need not be touched.

**Surface preparation:** The beams that are exposed during encasement of columns should be thoroughly cleaned of all loose concrete using a hammer. The dust and all loose particles should be removed using a wire brush and air/water jet. The exposed steel reinforcement should be cleaned and sprayed with an anti-corrosion coating.

**Fixing of nozzles for injection of grout** — holes should be drilled at 45-degree angle into the honeycombed region at a spacing of about 200 to 300 mm without damaging the steel reinforcement. Injection nozzles / nipples should be fixed using epoxy or any other suitable adhesive.

**An epoxy or polymer mortar** should be applied over the honeycombed area to prevent the leakage of grout during injection.

**Preparation of non-shrink grout** - A non-shrink cementitious grout (as per IS 4031) should be prepared with a water to cement ratio of about 0.40 — 0.50 for pumpable consistency. The grout mix should be mixed

thoroughly to avoid lumps and ensure uniformity. Conbextra GP2, a non-shrink cementitious grout manufactured by Fosroc may be used. Other similar non-shrink grouts manufactured by BASF (Masterflow 928) or Sika (Sikagrout-212) can be used.

**Injection of cementitious grout** — A manual or a pressure type pump may be used to inject the grout. The injection process is started from the lowest port / nozzle, upward to ensure complete filling. A pressure of 0.2 — 0.4 MPa is maintained until the grout flows from the next nozzle. The filled nozzle is closed, and the process is continued with the next nozzle.

**Curing** — The grout is allowed to set and cure for seven days by keeping it moist.

- IV. Floor slab — Since a new flooring material is planned to be used, the old floor material / tiles should be removed until the mother slab is exposed. The slab should be cleaned thoroughly with metal brush and air/water jet. The regular procedure for laying of ceramic or other tiles may be adopted.
- V. Masonry walls — the exposed portion of the brick masonry walls should be removed of all loose bricks and mortar. They should be properly cleaned with a wire brush and water/air jet. The walls should be completed with table moulded bricks using cement mortar of 1:6 mix.
- VI. Plastering — all the exposed portion of the walls, beams and columns should be plastered using cement mortar of mix 1:6 with a thickness of 15 — 20 mm. Clean and well graded M-sand (Zone II or III as per IS383) should be used for preparing the cement mortar. At the junction between concrete (beams and columns) and brick masonry, two layers of steel wire chicken mesh may be fixed using nails before plastering.
- VII. Flooring — the floor tiles may be fixed using cement mortar of thickness not exceeding 25 mm. This is to reduce the dead weight on the floor slab.
- VIII. Toilets — the extension of the toilet area should be continued using the same procedure as is being followed. Care should be taken to ensure adequate slope in the floor to allow for quick draining of the water. As stagnation of water on the floor is the main cause for seepage and leakages causing dampness, the provision of the slope should be given utmost importance. Water proofing of the floor should be done using the following procedure:

- a) The surface should be prepared by removing all the loose particles it may be noted that adequate slope (1:40) be provided towards the drain through screed concrete over which the water proofing is done. All the cracks and joints should be treated with epoxy filler or polymer modified mortar.
- b) Allow the surface to be dry. Apply a primer coat compatible with waterproofing system to be used. Allow it to dry for about 4 to 6 hours.
- c) The joints and corners should be treated by applying a fillet coving (about 20-25 mm radius) at wall to floor junction using polymer modified mortar. The pipe joints and corners should be reinforced with non-woven fabric or fiberglass mesh embedded in waterproof coating.
- d) Waterproofing coat — apply two or three coats of polyurethane / acrylic (Nitoproof 900) coats of liquid membrane using brush or roller. Embed reinforcing mesh at critical points. The film thickness when dry should be in the range of 1.0 — 1.5 mm (as per product specifications).
- e) Protection layer — curing should be done after the above waterproofing for 24 to 48 hours. Now a protection screed of thickness about 20 — 25 mm using cement mortar (1:4) with waterproofing compound should be applied by maintaining the slope towards the drain.
- f) Fixing of tiles — the tiles should be laid using polymer-modified tile adhesive. The joints should be grouted with waterproof grout.
- g) Curing — curing should be done for about seven days before heavy use.

### **Concluding Remarks of the report**

The guest house building comprising of ground plus two upper floors is structurally stable. No structural defects in the form of beam deflections, cracking in beams and columns or settlement of foundations has been observed. The retrofitting work as mentioned in this document would ensure that the building will serve its intended use without losing its structural stability and integrity. ANNEXURE – V

During the deliberation in the joint meeting of Executive Committee and the Project Monitoring Sub-Committee it was decided to go ahead with the opinions of Dr. J. M. Chandra Kishen, Prof. Dept. of Civil Engineering, Indian Institute of Science and Mr. Umesh B. Rao, Structural engineer (which are almost similar) and to complete the beam and all other structural and super structural activities with regards to renovation of Rooms.

The revised retro fitting report of M/s. Nagesh Consultants of ₹1,04,28,139/- which includes treating of beam bottom and carbon lamination, etc., amounting to ₹ 33,86,183/- is not considered. The earlier report of ₹ 70,41,956/- is considered. The total Retrofitting works estimated cost of ₹70,41,956/-, less ₹30,15,492 which was considered in the original tender. The additional quantity of tendered and non-tendered items is ₹40,26,264/-.

M/s. Sahaaya Builders and Developers Pvt. Ltd were asked to submit the quotation for tendered and non-tendered items. They have submitted quote of ₹49,37,838/- + GST ₹8,88,811/- = Total ₹58,26,649/. The M/s Cube architect and third-party independent consultant/architect representing the club Sri. Sridhar Murthy have verified the quote. Thus, the quotation stands reduced to ₹40,26,464/-+GST after reduction of ₹2,03,910/- + GST. M/s. Sahaaya Builders and Developers Pvt. Ltd has been called before OB meeting on 25.06.2025 and negotiated for an additional discount of 8.3% of ₹3,34,196/- and reduced to ₹36,92,266/- + GST ₹ 6,64,608/- = Total ₹43,56,874/- Total work order value has been approved in the EC meeting held on 26.06.2025. Work order issued to M/s. Sahaaya Builders and Developers Pvt. Ltd. For ₹43,56,873/-.

After completion of the columns jacketing the additional quantity for retrofitting works has been increased of ₹17,42,215/- with less rebate of ₹1,44,604 = ₹15,97,611/- + GST= Total ₹52,89,879/- (₹36,92,268/- + ₹15,97,612/-). Hence the addition sanction for retrofitting works will be ₹53 lakhs.

### **Resolution requested in the SGM on date 04-01-2026**

After the report from Dr. J. M. Chandra Kishen Professor of Dept. Of Civil Engineering, India Institute Of Science, Bangalore, The monitoring committee meeting held on 16/12/2025 decided not to implement the revised report of M/s Nagesh consultant of ₹1.04 Cr in full instead of that only column and other retrofitting will be treated and the beam bottom and carbon lamination will not be treated as it was opined no structural defects in the form of beam deflections, cracking in beams and columns or settlement of foundations has been observed. The executive committee has decided to go with earlier estimation of ₹52,89,878/- + GST ₹9,52,178/- = ₹62,42,056/- as per the report of **Indian Institute of Science, Bangalore**. Hence, the following proposal and resolution has been placed before the SGM.

***“7. Proposal for renovation of Guest Rooms – seeking additional sanction of Rs.1.18 crores (Rs.53 lakhs for retrofitting works + Rs.20 lakhs for previously renovated two mock-up rooms and additional escalation cost of 10% as contingency for Rs.45 lakhs on the already sanctioned Rs.4.50 crores by SGM 29.06.2024) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 1% Third Party Audit Fee + Structural Consultant Fees.”***

- Earlier, the SGM, in its meeting held on 29.06.2024, had sanctioned an amount of Rs. 4.50 crores for the renovation of rooms, which included the ground, 1st & 2nd floor passage area & lobby, front elevation. Replace furniture & fixtures, bath fitting & fixtures, replace of air conditioners & televisions, hot water systems, increase of area of bath rooms with additional care to ensure that there are no water leakages and also removal of old uncapped plumbing/ water lines & other cable, by demolishing and reconstructing the common wall.*

*Hence, the approval is sought from the General Body and pass the following resolution with or without change:*

### ***Resolution:***

***“It is resolved that the proposal for renovation of Guest Rooms – seeking additional sanction of Rs.1.18 crores (Rs.53 lakhs for retrofitting works + Rs.20 lakhs for previously renovated two mock-up rooms and additional escalation cost of 10% as contingency for Rs.45 lakhs on the already sanctioned Rs.4.50 crores by SGM 29.06.2024) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 1% Third Party Audit Fee + Structural Consultant Fees, has been approved”.***

# ANNEXURE I

## 1<sup>ST</sup> REPORT - NAGESH CONSULTANTS GUEST ROOMS BUILDING PROJECT ADEQUACY REPORT

Report No: NC/Century-Guest House/SR-01

Date: 11.12.2024

### PROJECT:

Guest House Building at Century Club, Bangalore

### TITLE:

ADEQUACY REPORT FOR EXISTING GF+1<sup>ST</sup> FLOOR +2<sup>ND</sup> FLOOR, GUEST HOUSE  
BUILDING AT CENTURY CLUB BANGALORE

### SUBMITTED TO:

THE PRESIDENT  
CENTURY CLUB, BANGALORE

### STRUCTURAL CONSULTANTS:



**M/s.Nagesh Consultants**  
Consulting Structural Engineers

#2, 6<sup>th</sup> Cross,

Ashoknagar, BSK 1st Stage,

Bangalore - 560 050.

Tel Fax : 080 – 26617865, 26617866

Email- [nageshconsultants18@gmail.com](mailto:nageshconsultants18@gmail.com)

### ADEQUACY REPORT FOR EXISTING STRUCTURE

#### **Executive Summary**

This report presents a comprehensive adequacy assessment of the existing Guest House Building structure at the Century Club, Bangalore. The primary objective is to evaluate the structure's design parameters, ensuring safety and serviceability.

#### **Background**

The Guest House Building, located at the Century Club, Bangalore, serves multiple purposes, including dormitories.

#### **Objective**

Conduct a detailed adequacy check of the existing structure, focusing on:

- Load-carrying capacity
- Stability
- Compliance with relevant design codes and standards (e.g., IS codes)

#### **Scope of Work**

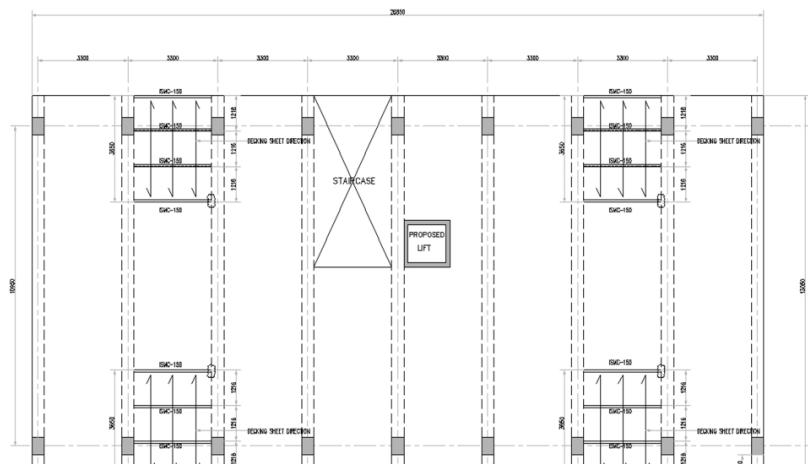
- Review existing structural drawings and documents
- Conduct site inspections
- Analyze structural design parameters
- Evaluate compliance with current design standards
- Identify potential deficiencies and recommend remedial measures

#### **Expected Outcomes**

- Comprehensive report highlighting structural adequacy
- Identification of potential safety risks
- Recommendations for upgrades or repairs
- Confirmation of compliance with design codes and standards

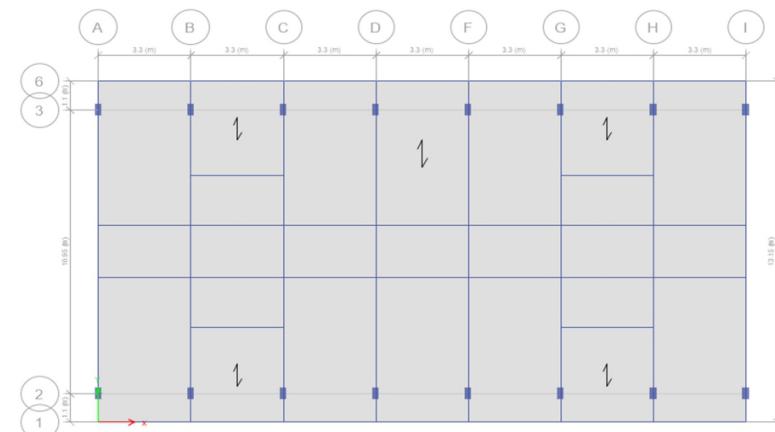
### 1. Configuration of Existing Guest House Building

Geometry of Structure		
a. Width of Structure	=	13.150 m
b. Length of Structure	=	26.850 m
c. Height of Structure	=	10.500 m
d. Floor to Floor Height	=	3.000 m
e. Height Below Plinth	=	1.500 m
f. No. of Floors	=	GF+1 <sup>st</sup> +2 <sup>nd</sup> (3 RCC SLABS)
g. Column Sizes		
f.1. In Ground Floor Lvl	=	375 mm 600 mm
f.2. In First Floor Lvl	=	230 mm 450 mm
f.3. In Second Floor Lvl	=	230 mm 450 mm
h. Main Beam		
i. Secondary Beam	=	230mm 750mm
j. Secondary Beam		



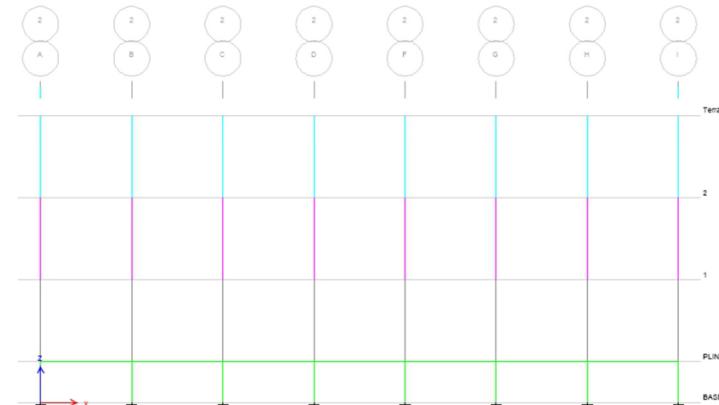
PLAN ( As per Available Data)

Plan View - 2 - Z = 7.5 (m)



PLAN ( Considered in Etabs Analysis)

Elevation View - Elev85



SECTION ( Considered in Etabs Analysis)

## 2. Structural Loads

### A. Load Cases

#### A.1 Dead Loads (As per IS: 875 (Part-1)-1987, IS 2185 part 1):

Dead load Consist of self-weight of the building and superimposed dead loads.

Weight of different materials considered for design are as follows: -

ITEM	INTENSITY IN KN/M <sup>3</sup>
Unit weight of reinforced concrete	25
Unit weight of plain concrete	24
Unit weight of Solid concrete block Masonry including Plastering	22

#### A.2 Floor Finish Loads (As per IS 875 (Part-1) -1987):

The Super Imposed Dead loads are as follows –

ITEM	INTENSITY IN KN/M <sup>2</sup> OF PLAN AREA
Floor finish	1.5

#### A.3 Live Loads (As per IS 875 (Part-2 -1987):

The live load is assessed based on the occupancy classifications as per

IS: 875 (Part -2)– 1987 and are listed as below.

OCCUPANCY CLASSIFICATION	UDL (KN/M <sup>2</sup> )
All rooms & kitchens	2.0
Toilet & Bathrooms	2.0
Corridors, passages, staircases including fire escapes and store rooms	3.0
Terrace	1.5

### A.4 Earthquake Load:

Earth quake loads are calculated as per seismic co-efficient method as suggested in IS: 1893 (Part 1) - 2016.

Bengaluru comes in **Zone II**

The design horizontal seismic co-efficient for a structure is determined as per CL. 6.4.2

$$A_h = \frac{Z I}{2 R} S_a g$$

$Z$  – Zone factor for Zone II  
 $I$  – Moderate Seismic Intensity = 0.1  
 $R$  – Importance factor = 1.0  
 $S_a$  – Buildings with ordinary RC structural = 3.0  
 $g$  – Walls  
 $T$  = Buildings with ordinary RC structural = 3.0  
 $(0.075H^0.75)/VA_w \geq 0.09h/d$  as per IS: 1893 (Part 1) - 2016, CL. 7.6.2. b.

Where,

$H$  = Height of Building in meters.

$A_w$  = Total effective area in  $m^2$  of walls in the first storey of the Building.

$d$  = Base dimension of the building at the plinth level along the considered direction of earthquake shaking in meters.

Soil Type – Hard Soil

**B. BASIC LOADS AND LOAD COMBINATIONS:**

The various loads are combined in accordance with the stipulations in **IS: 875 (Part 5) - 1987**. Wherever imposed load is combined with earthquake load the appropriate part of the imposed load as specified in **IS: 1893 (Part 1) - 2016**, is adopted both for evaluating earthquake effect and for combined load effects, used in such combination. Analysis is carried out using **ETABS 2020 – 20.3.0** Version software.

**Load Combinations for Dead & Live Loads:**

- DL+LL

**Load Combinations for Seismic:**

- DL+EQX
- DL-EQX
- DL+EQY
- DL-EQY
- DL+LL+EQX
- DL+LL-EQX
- DL+LL+EQY
- DL+LL-EQY
- 0.9DL+EQX
- 0.9DL-EQX
- 0.9DL+EQY
- 0.9DL-EQY

**Factored Load Combinations for Dead & Live Loads:**

- 1.5[DL+LL]

**Factored Load Combinations for Seismic:**

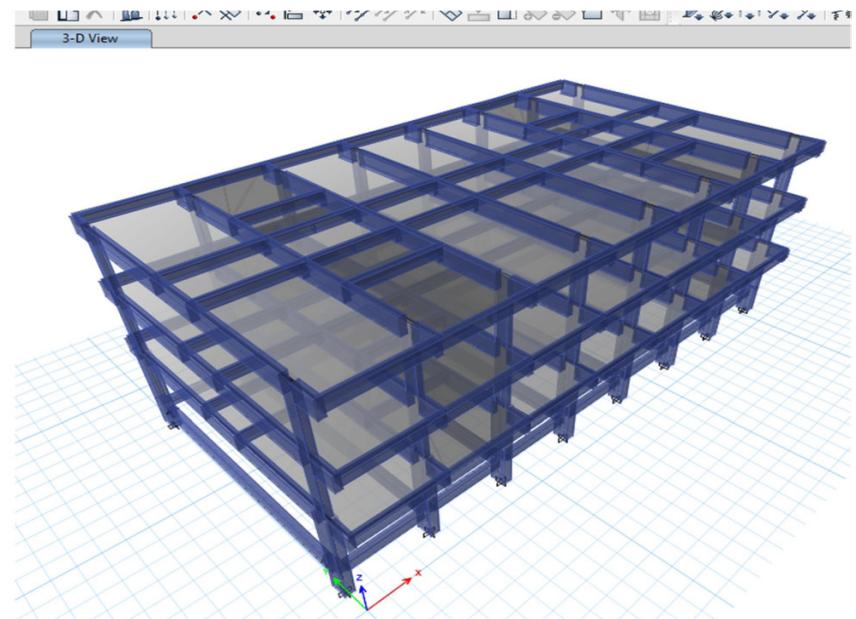
- 1.5[DL+EQX]
- 1.5[DL-EQX]
- 1.5[DL+EQY]
- 1.5[DL-EQY]
- 1.2[DL+LL+EQX]
- 1.2[DL+LL-EQX]
- 1.2[DL+LL+EQY]
- 1.2[DL+LL-EQY]
- 0.9DL+1.5EQX
- 0.9DL-1.5EQX
- 0.9DL+1.5EQY
- 0.9DL-1.5EQY

**3. Materials**

- Grade of Concrete – M20
- Grade of Steel – Fe 415

**4. Analysis & Design verification Methodology**

- The structure is analyzed for Gravity Load and Lateral loads, and its combinations using **ETABS 2020 – 20.3.0**.

**Extrude View from Etabs**

- Gravity loads are applied as mentioned in the above section 2
- Earthquake loads are applied as mentioned in the above section 2
- The design verification of all Reinforced Concrete (RCC) members has been carried out in accordance with the Limit State Method specified in IS: 456-2000.

## 5. Available Data of Existing Structural Members

Non-Destructive Testing (NDT) was conducted on the existing building to assess its structural integrity. The tests aimed to evaluate the building's condition without causing damage.

### Tests Conducted

- Ultrasonic Pulse Velocity (UPV) Test: To assess concrete quality and detect internal defects.
- Rebound Hammer Test: To measure concrete surface hardness and compressive strength.
- Cover Meter Test: To determine concrete cover thickness and reinforcement location.

### Summary of Test Results

#### • Foundation

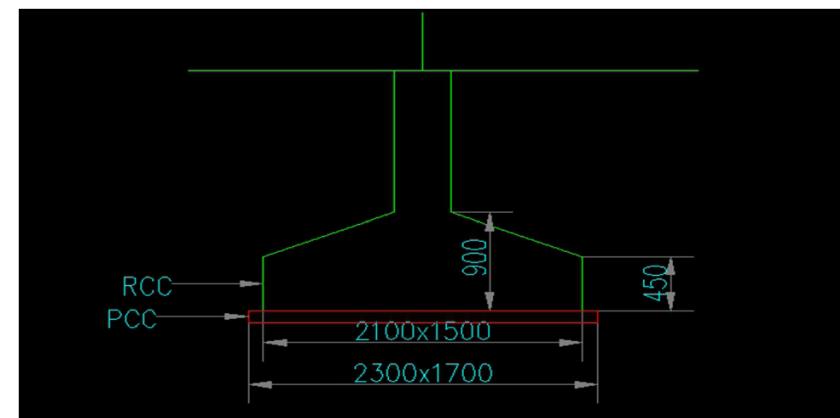
##### RESULTS OF REBOUND HAMMER TEST

Project	:	Library building at Century club
Members tested	:	RC footing
Date of study	:	04 <sup>th</sup> and 5 <sup>th</sup> December 2024.
Grade of concrete	:	Not furnished*
Age of concrete	:	More than 28 days*
Test instrument	:	Schmidt Hammer.
Make	:	M/s. Proceq, Switzerland.
Position of hammer	:	Inclined downwards
Technical reference	:	1) Indian Standard IS: 516-(Part-5/Sec-4)-2020. 2) Instrument manual furnished by M/s. Proceq, Switzerland.

Sl. No.	Floor / Member Identification**	Grid Identification**	Avg rebound number +	Remarks
Ground floor				
1	RC footing	C/7	30	Refer Table – 1A for estimated strength range of in-situ concrete
2			31	

TABLE - 1A	
REFERENCE STRENGTH CHART FOR REBOUND HAMMER TEST	
Equipment	:
Make	:
Type	:
Technical reference	: <ul style="list-style-type: none"> <li>1. IS: 13311-(Part –II) – 1992 and</li> <li>2. Instrument manual furnished by M/s. Proceq, Switzerland</li> </ul>

REBOUND NUMBER	ESTIMATED STRENGTH RANGE (N/Sq.mm)
22 to 26	10 to 14
26 to 30	14 to 18
30 to 34	18 to 22
34 to 38	22 to 26
38 to 42	26 to 30
42 to 46	30 to 34



Remarks of NDT Test on Foundation Concrete : **Concrete Quality is Good**

- Column & Beam

## RESULTS OF ULTRASONIC PULSE VELOCITY TEST

Project	: Library building at Century club
Members tested	: RC columns and beams
Dates of test	: 04 <sup>th</sup> and 5 <sup>th</sup> December 2024.
Grade of concrete	: Not furnished*
Age of concrete	: More than 28 days*
Test instrument	: PUNDIT Lab (Portable Ultrasonic Non-destructive Digital Indicating Tester)
Make	: M/s. Proceq, Switzerland
Test method	: Direct, Semi-direct and Indirect method
Technical reference	: 1. Indian Standard IS: 516-(Part5/Sec 1)-2018 Non-Destructive Testing of Concrete, Methods of Tests, Ultrasonic Pulse velocity 2. Instrument manual furnished by M/s. Proceq, Switzerland

Sl. No.	Floor / Member Identification**	Grid Identification**	Average Pulse velocity (km/sec)	Remarks
1	2	3	4	5
<b>GROUND FLOOR</b>				
1	RC columns	B/1	3.5	Refer Table – 2A for quality grading of in-situ concrete
2		B/3	4.0	
3		B/4	3.7	
4		C/7 at juction	3.6	
5	RC Beams	A-B/3	4.0	
6		A-B/4	3.6	
7		B-C/5 at support end	4.0	
8		B-C/5 at mid	4.1	
9		C-D/7	3.9	
10		B-C/1 at support end	3.6	
11		B-C/1 at mid	3.6	

\* Not furnished for the concrete

TABLE – 2A

TABLE – 1A (As per IS: 516-(Part 5/Sec 1): 2018)

REFERENCE QUALITY GRADING CHART FOR  
ULTRASONIC PULSE VELOCITY TEST

Instrument	: PUNDIT Lab [Portable Ultrasonic Non-Destructive Digital Indicating Tester]
Make	: M/s. Proceq, Switzerland
Reference	: IS: 516-(Part 5/Sec 1): 2018 Amendment No. 1, Nov-2019

Pulse Velocity (Km/sec)	Concrete Quality Grading
For Concrete ( $\leq$ M25)	
Below 3.5	Doubtful
3.5 to 4.5	Good
Above 4.5	Excellent
For Concrete ( $>$ M25)	
Below 3.75	Doubtful
3.75 – 4.50	Good
Above 4.50	Excellent

Note: Concrete quality grading for different velocity criterion as reproduced  
From Table-1 of IS: 516-(Part 5/Sec 1): 2018, Amendment No. 1, Nov-2019

Remarks of NDT Test on Column & Beam Concrete : **Concrete Quality is Good**

TABLE – 3  
RESULTS OF COVERMETER TEST

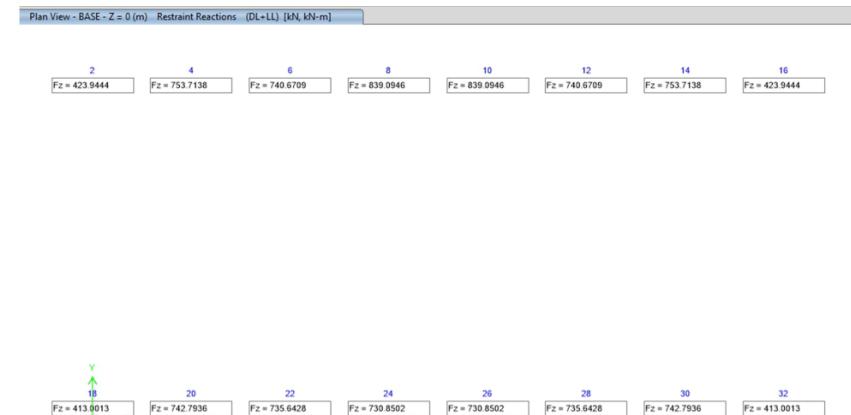
Project	: Library building at Century club Bangalore.
Members tested	: RC members
Dates of test	: 04 <sup>th</sup> and 5 <sup>th</sup> December 2024.
Test instrument	: Profometer 5 <sup>+</sup>
Make	: M/s. Proeq, Switzerland
Technical references	: BS: 1881-(Part 204)-1988 & Test Instrument Manual "Metal & Reinforcement Detector" From M/s. Proeq, Switzerland.

Sl. No.	Floor / Member Identification*	Grid Identification*	Range of cover concrete (mm)**	Disposition of peripheral reinforcement and probable diameter
GROUND FLOOR				
1	RC Columns	C/7	49-53	Main Bar: 4nos-20/25 dia and 4nos -16/20 dia 4nos Ties: 175 mm c/c
2		B/1	48-54	
3		B/5	42-47	
4	RC Beams	B-C/5 at support end	37-41	Main Bar: 2nos-20/25 dia @ bottom and second layer - 2nos - 20/25 dia
5		B-C/5 at mid	36-40	Stirrups: 125mm c/c at mid and support end
6		B-C/1 at support end	34-39	
7		B-C/1 at mid	33-39	
8		A/B-4	34-38	Main Bar: 2nos - 16/20dia @ bottom Stirrups: 150mm c/c

## 6. Design verification of Existing Structure

### 6.1. Adequacy Check for Isolated Footings

#### 6.1.1. Check for Base Pressure Under Isolated Footing & Concrete Depth



Reaction from Etabs analysis for (DL+LL)

INPUT												
	M25			Fe500	DEPTH OF EXCAVATION:				1.5 m	NET SBC	250.00	375.00
COLNO	COMB		F/N	FY KN	MX KN/m <sup>2</sup>	MY KN/m <sup>2</sup>	L in m	B in m	COLUMN D in 'm'	COLUMN B in 'm'	PEDESTAL	FOOTING DEPTH in 'mm'
F1	1	101	DL+LL	839.00	28.00	2.80	2.30	1.70	0.60	0.375	0	900 1.5

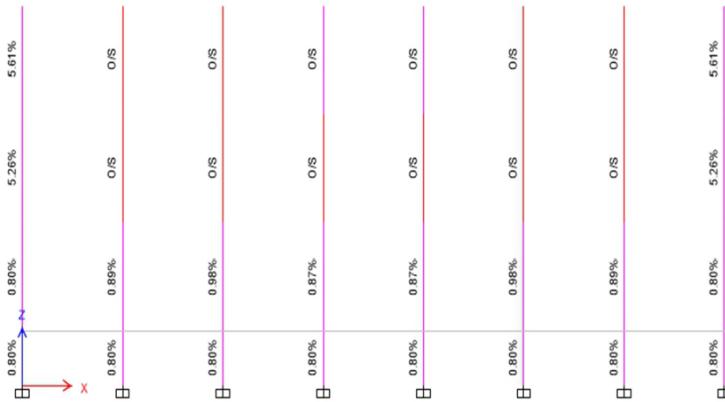
PRESSURE CHECK			REINFORCEMENT			ONE WAY SHEAR			TWO WAY SHEAR		
PMAX (net) kN/m <sup>2</sup>	PMIN (net) kN/m <sup>2</sup>	CHECK	X-DIRECTION	Y-DIRECTION	CHECK	T <sub>v</sub>	CHECK	T <sub>v</sub>	CHECK	T <sub>v</sub>	
241.72	187.44	SAFE	Y12 @100 C/C	Y12 @100 C/C	SAFE	0.00	SAFE	-0.08	SAFE	0.17	

Remarks on Footing Size & Concrete Depth : Base pressure under Footing is Less Than 250kN/m<sup>2</sup> & Concrete Depth is okay in Both One way & Two-way shear. Hence okay

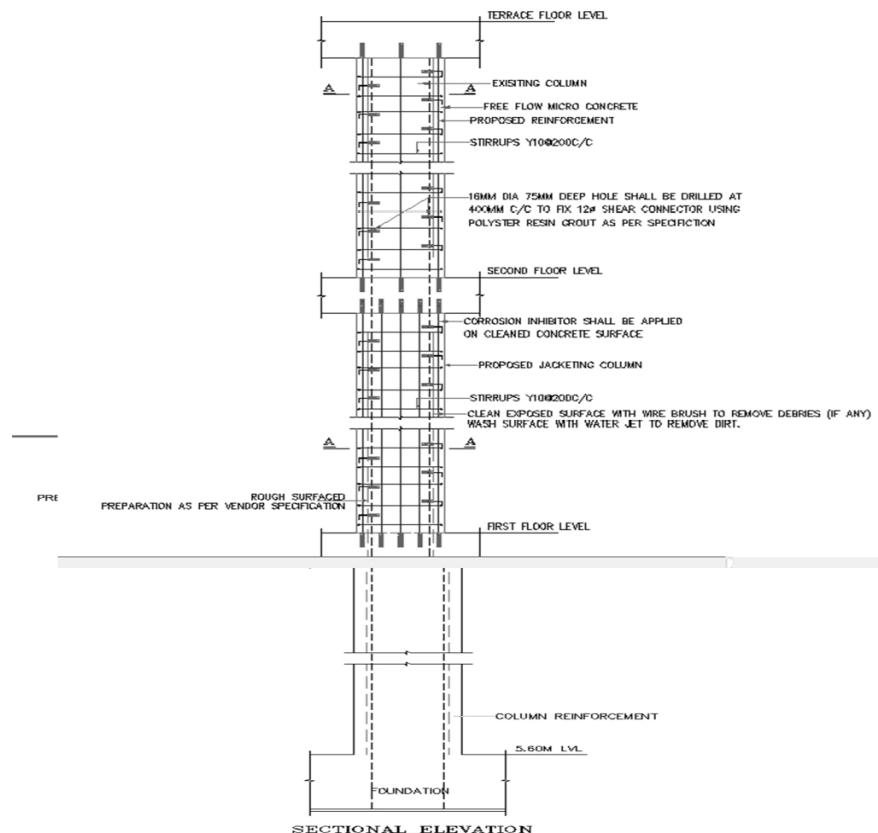
## 6.2. Adequacy Check for Column

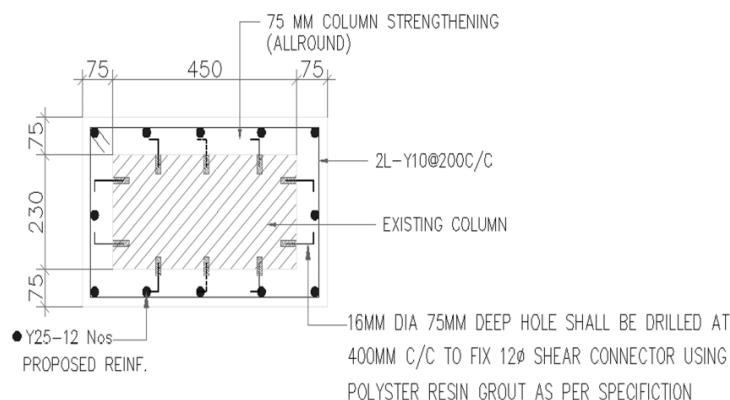
6.2.1. As per Etabs Analysis Column Design is Checked. And it is found existing Columns in 1<sup>st</sup> & 2<sup>nd</sup> floor having sizes 230x450 are **Inadequate**

Elevation View - Elev88 Rebar Percentage (IS 456:2000)



Remedy : Column shall be retrofitted with column size 375x600 with additional reinforcement ( Refer Below Details)





## COLUMN STRENGTHENING DETAILS

### Retrofitting Procedure for Column Strengthening

#### **Step 1: Surface Preparation**

1. Clean exposed surface with wire brush to remove loose debris (If any).
2. Wash surface with air/water jet to remove dirt.

#### **Step 2: Reinforcement Protection**

1. Apply two coats of anti-corrosive chemicals to exposed reinforcement (If any).
2. Allow coatings to dry according to manufacturer's instructions.

#### **Step 3: Corrosion Inhibitor Application**

1. Apply corrosion inhibitor to cleaned concrete surface.

#### **Step 4: Shear Connector Installation**

1. Drill 16mm diameter, 75mm deep holes at 400mm centers.
2. Fill holes with polyester resin grout.
3. Fix 12mm diameter shear connectors into grouted holes.

#### **Step 5: Additional Reinforcement**

1. Install proposed reinforcement as per strengthening details.

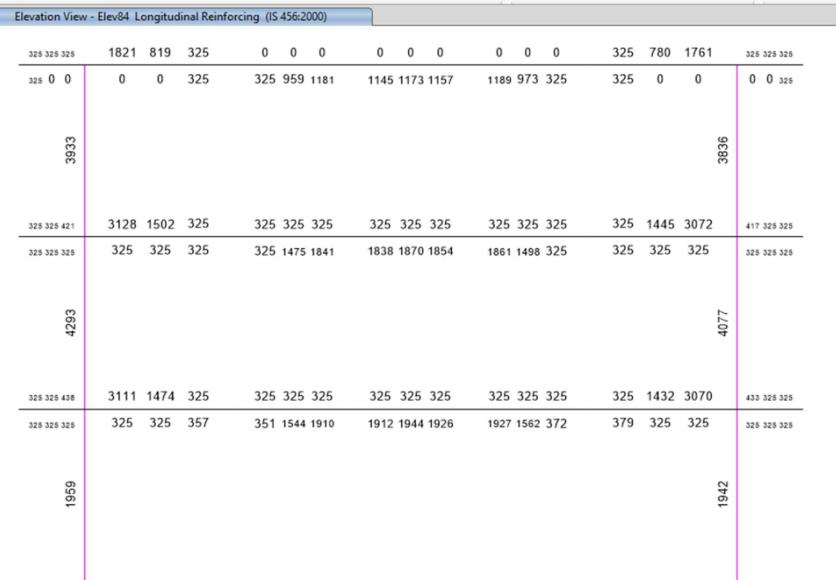
#### **Step 6: Micro Concrete Encasement**

1. Prepare micro concrete mix according to specifications for M30 Mix.
2. Apply micro concrete encasement around retrofitted column.
3. Micro Concrete shall be cured as per Standard practice

### 6.3. Adequacy Check for Main Beam

6.3.1. As per Etabs Analysis Beam Design is Checked.

For Main Beam 230x750



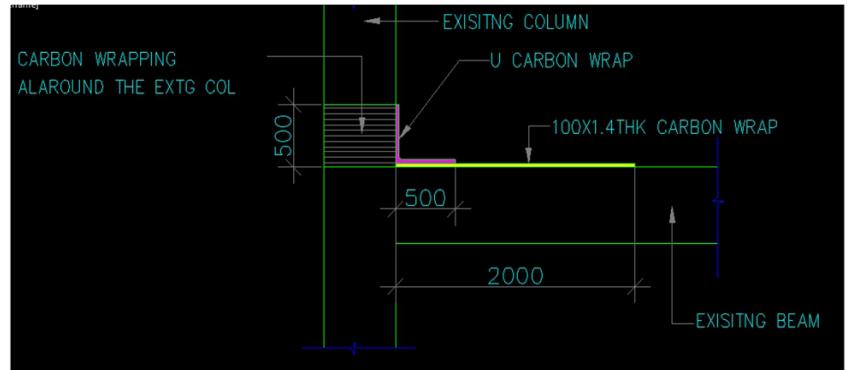
Ast Required at Top is **3128mm<sup>2</sup>**.

Ast provided is \*(2-Y25+2-Y25) i.e., **1964mm<sup>2</sup>**.

Ast Provided **1964mm<sup>2</sup>** is less than Ast Required **3128mm<sup>2</sup>**.

Hence Beam retrofitting is required.

Remedy : Strengthening of Main Beam with Carbon laminates is proposed ( Refer drawings)



CARBON WRAPPING DETAILS

NOTE:-

- 1) SURFACE PREPARATION SHALL BE DONE AS PER SPECIFICATION
- 2) FIXING OF 100X1.4 THK CARBON LAMINATE ON TOP SOFFIT OF THE BEAM
- 3) PROVIDING AND FIXING U-CARBON WRAPING AS INDICATED IN SKETCH
- 4) PROVIDING AND FIXING CARBON WRAP AROUND THE COLUMN FOR 500MM HEIGHT ABOVE SLAB SOFFIT

## **7. Concluding Remarks**

- Retrofitting: Strengthen columns and beams as proposed to ensure structural adequacy.
- Shear Stress Compliance: Shear stresses in beams marginally exceed IS 456-2000 limits under Earthquake analysis. This is acceptable in our opinion, considering overall structural integrity.

## **8. Recommendations**

- Implement proposed retrofitting scheme.
- Monitor structural performance post-retrofitting

**ANNEXURE II**

**1<sup>ST</sup> REPORT - STATEMENT OF RETRO FITTING WORKS AND COST COMPARISION BETWEEN TENDER AND REVISED QUANTITY RECEIVED FORM M/S NAGESH CONSULTANT**

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
1	Removal of Masonry Wall around Column / Beams to facilitate Retrofitting Cutting & removing masonry wall for a width of 0.5 to 1.5 meter on either side of column / Beam using necessary cutting machine, electrical chipper tools and tackle labour etc., and disposal of debries to a designated location as directed by engineer-in- charge and reconstructing the same after completion of encasement. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							
	GF	Cum	-	1,029.00	-	8.00	8,229.94	8,229.94
	FF	Cum	24.00	1,029.00	24,696.00	28.00	28,812.00	4,116.00
	SF	Cum	24.00	1,029.00	24,696.00	28.00	28,812.00	4,116.00
2	Surface preparation of the existing column using electrical chipper followed by wire-brush and blower with all tools and tackles etc.,							
	Ground Floor to First Floor	Sqm.		375.00		20.40	7,650.00	7,650.00
	Fist Floor to Second Floor	Sqm.	74.00	375.00	27,750.00	73.44	27,540.00	-210.00
	Second Floor to Third Floor	Sqm.	74.00	375.00	27,750.00	73.44	27,540.00	-210.00

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
3	Drilling and fixing shear connectors in concrete Drilling 16 mm dia and 75 mm deep holes at 400mm C/C in concrete in staggered pattern for fixing shear connectors, using rotary-cum-hammering action electrical drilling machine with concrete drill bits of suitable size in all sides of the RC Column and cleaning with compressed air for fixing 12 mm dia column bars with polyster resign grout. ("Sika AnchorFix-3030" or Equivalent) as per sketch and directions of the Engineer-in-charge. The cost inclusive of labours, tools and tackles, staging, machinery hire charges, machinery consumables, materials, water etc., complete							
	Ground Floor to First Floor	No.		525.00		400.00	2,10,000.00	2,10,000.00
	Fist Floor to Second Floor	No.	720.00	525.00	3,78,000.00	1,440.00	7,56,000.00	3,78,000.00
	Second Floor to Third Floor	No.	720.00	525.00	3,78,000.00	1,440.00	7,56,000.00	3,78,000.00
4	Steel fabrication Providing &Fabricating HYSD STEEL Fe-550 (cold, twisted) reinforcement for RCC work including straightening, cutting, bending, hooking, placing in position lapping and / or welding wherever required tying with binding wire and anchoring to the adjoining members wherever necessary complete as per design (laps, hooks, and wastage shall not be measured and paid) and directions of the Engineer-in-charge . COST inclusive of all materials, consumables,shuttering, labours, equipment, drilling holes for fixing the reinforcements in slabs and beams, scaffolding/staging, hire charges,tools and tackles etc., complete.							

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
	Ground Floor to First Floor	Kg		92.00		1,590.60	1,46,335.20	1,46,335.20
	Fist Floor to Second Floor	Kg	2,810.00	92.00	2,58,520.00	3,026.16	2,78,406.72	19,886.72
	Second Floor to Third Floor	Kg	2,810.00	92.00	2,58,520.00	3,026.16	2,78,406.72	19,886.72
5	Providing and applying bonding epoxy prior to concreting with all tools and tackles etc., complete.							
	Ground Floor to First Floor	Sqm.	-	735.00	-	20.40	14,994.00	14,994.00
	Fist Floor to Second Floor	Sqm.	74.00	735.00	54,390.00	73.44	53,978.50	-411.50
	Second Floor to Third Floor	Sqm.	74.00	735.00	54,390.00	73.44	53,978.50	-411.50
6	Providing and supplying shuttering using 12mm water-proof plywood, runners, bolts and structural steel supports with all tools and tackles etc., complete.							
	Ground Floor to First Floor	Sqm.	-	520.00	-	62.00	32,241.50	32,241.50
	First Floor to Second Floor	Sqm.	106.00	520.00	55,120.00	105.84	55,037.00	-83.00
	Second Floor to Third Floor	Sqm.	106.00	520.00	55,120.00	105.84	55,037.00	-83.00
7	Free flow micro concreting (M30 GRADE) Providing free flow micro concrete using "SIKAREP MICROCRETE-4" M/s. Sika india Pvt. Ltd. or Equivalent with 2:1 proportion ( i,e, Grout : coarse aggregate - 2:1) (10 mm down washed granite aggregates) for columns and beams with slurry tight shuttering as per the specification, including mixing, pouring, curing as per sketch and directions of the Engineer-in-charge Water to be mixed as per Technical data sheet. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
	Ground Floor to First Floor	Cum.		85,000.00		3.88	3,30,174.00	3,30,174.00
	Fist Floor to Second Floor	Cum.	7.00	85,000.00	5,95,000.00	7.00	5,95,000.00	-
	Second Floor to Third Floor	Cum.	7.00	85,000.00	5,95,000.00	7.00	5,95,000.00	-
8	Carbon Fiber Wrapping with Epoxy Providing & Fixing Carbon Fiber wrapping with epoxy above Beam. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							
	FF	Sqm.	2.70	4,500.00	12,150.00	-	-	-12,150.00
	SF	Sqm.	2.70	4,500.00	12,150.00	-	-	-12,150.00
9	U Carbon Wrapping with Epoxy Providing & Fixing U-Carbon wrapping with epoxy between Column and Beam COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							
	FF	Sqm.	1.80	4,500.00	8,100.00	-	-	-8,100.00
	SF	Sqm.	1.80	4,500.00	8,100.00	-	-	-8,100.00
10	Carbon Wrapping with Epoxy Providing & Fixing Carbon wrapping with epoxy around column COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							
	GF	Sqm.		4,500.00		5.00		-
	FF	Sqm.	18.00	4,500.00	81,000.00	18.00		-81,000.00
	SF	Sqm.	18.00	4,500.00	81,000.00	18.00		-81,000.00

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
11	Structural Plastering Providing and Placing structural Plastering over the Carbon Wrapping, in cement mortor 1:4, with admixtures the average thickness of mortor is limited to 20mm. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.							
	GF	Sqm.		620.00		6.00	3,720.00	3,720.00
	FF	Sqm.	21.00	620.00	13,020.00	21.00	13,020.00	-
	SF	Sqm.	21.00	620.00	13,020.00	21.00	13,020.00	-
Extra Item	Providing and installing high strength carbon fibre laminate wrap of 50mm wide and 1.4mm thick to 1.5m length in 2 adjecent layers for each beam top column junction as per detailed in the drawing - (Manufacturer from BASF/FOSROC/ SIKA) - FF	RMt	-	3,000.00	-	76.00	2,28,000.00	2,28,000.00
	SF	RMt	-	3,000.00	-	76.00	2,28,000.00	2,28,000.00
Extra Item	Brick work -9" -FF							
	GF	Cum		9,000.00		7.61	68,465.25	68,465.25
	FF	Cum		9,000.00		21.00	1,89,000.00	1,89,000.00
	SF	Cum		9,000.00		21.00	1,89,000.00	1,89,000.00
Extra Item	Providing plastering to External and internal masonry wall surfaces with CM 1:6 (1cement : 6 fine sand) 12mm to 20mm thick, applied in one coat including finishing Rough to receive tiling work etc., complete and as directed.							
	GF	Sqmt		753.20		80.00	60,256.00	60,256.00

SL. NO	DESCRIPTION	UNIT	AS PER TENDER			AS PER SITE		DIFFERENCE
			QTY	RATE	AMOUNT	QTY	AMOUNT	
	FF	Sqmt		753.20		370.00	2,78,686.00	2,78,686.00
	SF	Sqmt		753.20		370.00	2,78,686.00	2,78,686.00
Extra Item	providing and applying the two coats of putty, primier and paint for the wall and ceiling with necessary materials.							
	GF	Sqmt		430.40		80.00	34,432.00	34,432.00
	FF	Sqmt		430.40		370.00	1,59,249.00	1,59,249.00
	SF	Sqmt		430.40		370.00	1,59,249.00	1,59,249.00
Extra Item	Resin Grouting for Beams							
	Qty calculated by assuming 1 ltr consumption on 1m length of the beam - total 350 mtr over length of the beam - to be measured and paid as per actuals	Ltr		1,300.00		400.00	5,20,000.00	5,20,000.00
Extra Item	Drilling and Nossel fixing for resin grouting	Point		200.00		1,400.00	2,80,000.00	2,80,000.00
	Qty calculated by assuming points , at an interval of 600mm on either side of beam - total 500mtr over length of the beam - to be measured and paid as per actuals							
<b>Sub Total-A</b>					<b>30,15,492.00</b>		<b>70,41,956.33</b>	<b>40,26,464.33</b>
<b>TOTAL DIFFERENCE AMOUNT (Excluding GST)</b>							<b>40,26,464.33</b>	
9% CGST							<b>3,62,381.79</b>	
9% SGST							<b>3,62,381.79</b>	
<b>TOTAL DIFFERENCE AMOUNT TO WHICH WORK ORDER IS TO BE ISSUED (Including GST)</b>							<b>47,51,227.91</b>	

## ANNEXURE III

### 2<sup>ND</sup> REPORT - NAGESH CONSULTANTS GUEST ROOMS BUILDING PROJECT ADEQUACY REPORT

Report No: NC/Century-Guest House/SR-02 Date: 13.10.2025

#### PROJECT:

Guest House Building at Century Club, Bangalore

#### TITLE:

ADEQUACY REPORT FOR EXISTING GF+1<sup>ST</sup> FLOOR +2<sup>ND</sup> FLOOR, GUEST HOUSE  
BUILDING AT CENTURY CLUB BANGALORE

#### SUBMITTED TO:

THE PRESIDENT

CENTURY CLUB, BANGALORE

#### STRUCTURAL CONSULTANTS:



**M/s.Nagesh Consultants**  
Consulting Structural Engineers

#2, 6<sup>th</sup> Cross,

Ashoknagar, BSK 1st Stage

Bangalore - 560 050.

Tel Fax : 080 – 26617865, 26617866

Email- [nageshconsultants18@gmail.com](mailto:nageshconsultants18@gmail.com)



#### ADEQUACY REPORT FOR EXISTING STRUCTURE

#### Executive Summary

This report presents a comprehensive adequacy assessment of the existing Guest House Building structure at the Century Club, Bangalore. The primary objective is to evaluate the structure's design parameters, ensuring safety and serviceability.

#### Background

The Guest House Building, located at the Century Club, Bangalore, serves multiple purposes, including dormitories.

#### Objective

Conduct a detailed adequacy check of the existing structure, focusing on:

- Load-carrying capacity
- Stability
- Compliance with relevant design codes and standards (e.g., IS codes)

#### Scope of Work

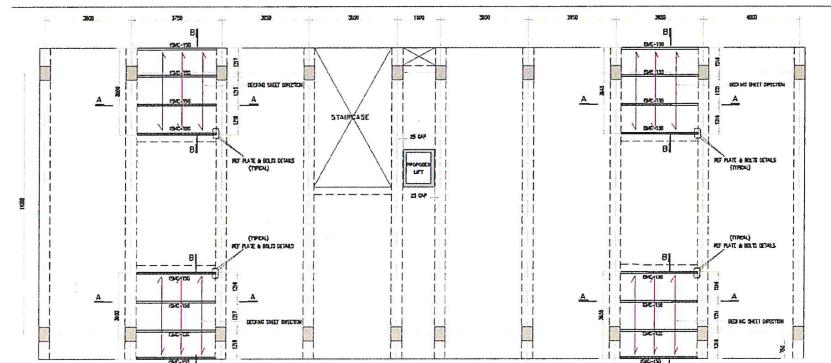
- Review existing structural drawings and documents
- Conduct site inspections
- Analyze structural design parameters
- Evaluate compliance with current design standards
- Identify potential deficiencies and recommend remedial measures

#### Expected Outcomes

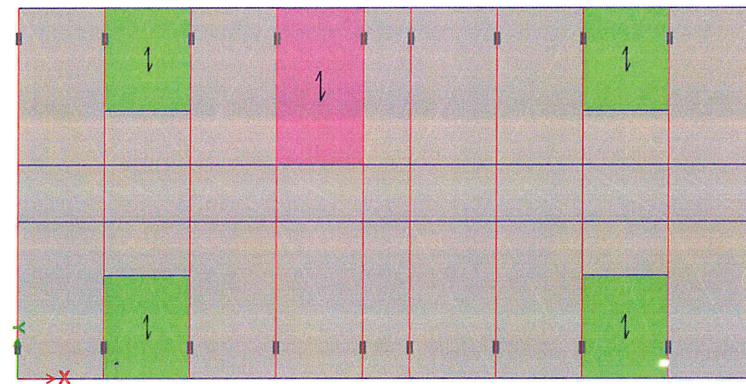
- Comprehensive report highlighting structural adequacy
- Identification of potential safety risks
- Recommendations for upgrades or repairs
- Confirmation of compliance with design codes and standards

### 1. Configuration of Existing Guest House Building

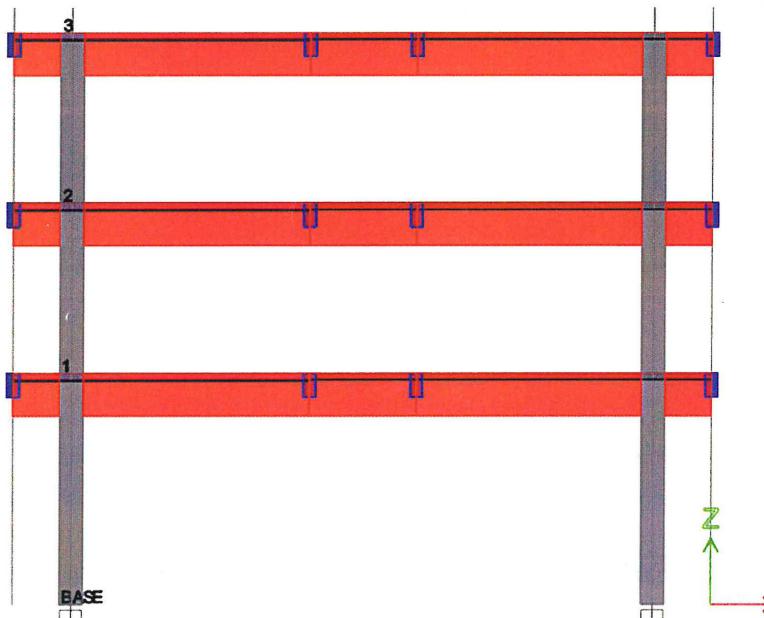
<b>Geometry of Structure</b>		
a. Width of Structure	=	13.150 m
b. Length of Structure	=	26.850 m
c. Height of Structure	=	10.850 m
d. Floor to Floor Height		
GF	=	4.350 m
1 <sup>st</sup>	=	3.200 m
2 <sup>nd</sup>	=	3.300 m
f. No. of Floors	=	GF+1 <sup>st</sup> +2 <sup>nd</sup> (3 RCC SLABS)
<b>g. Column Sizes</b>		
f.1. In Ground Floor Lvl	=	230 mm 450 mm
f.2. In First Floor Lvl	=	230 mm 450 mm
f.3. In Second Floor Lvl	=	230 mm 450 mm
h. Main Beam	=	230mm 800mm
i. Secondary Beam	=	230mm 450mm



PLAN ( As per Site Data)



PLAN ( Considered in Etabs Analysis)



SECTION ( Considered in Etabs Analysis)

## 2. Structural Loads

### A. Load Cases

#### **A.1 Dead Loads (As per IS: 875 (Part-1)-1987, IS 2185 part 1):**

Dead load Consist of self-weight of the building and superimposed dead loads.

Weight of different materials considered for design are as follows:-

ITEM	INTENSITY IN KN/M <sup>3</sup>
Unit weight of reinforced concrete	25
Unit weight of plain concrete	24
Unit weight of Solid concrete block Masonry including Plastering	22

#### **A.2 Floor Finish Loads (As per IS 875 (Part-1) -1987):**

The Super Imposed Dead loads are as follows –

ITEM	INTENSITY IN KN/M <sup>2</sup> OF PLAN AREA
Floor finish	1.5

#### **A.3 Live Loads (As per IS 875 (Part-2 -1987):**

The live load is assessed based on the occupancy classifications as per IS: 875 (Part –2)– 1987 and are listed as below.

OCCUPANCY CLASSIFICATION	UDL (KN/M <sup>2</sup> )
All rooms & kitchens	2.0
Toilet & Bathrooms	2.0
Corridors, passages, staircases including fire escapes and store rooms	3.0
Terrace	1.5

**A.4 Earthquake Load:**

Earthquake loads are calculated as per seismic co-efficient method as suggested in IS: 1893 (Part 1) - 2016.

Bengaluru comes in Zone II

The design horizontal seismic co-efficient for a structure is determined as per CL. 6.4.2

$A_h$	=	$\frac{ZI}{2R} \frac{S_a}{g}$
Z	-	Zone factor for Zone II
-	-	Moderate Seismic Intensity = 0.1
I	-	Importance factor = 1.0
R	-	Buildings with ordinary RC structural Walls = 3.0
T	=	$(0.075H^{0.75})/VA_w \geq 0.09h/Vd$ as per IS: 1893 (Part 1) - 2016, CL. 7.6.2. b.
Where,		
H = Height of Building in meters.		
$A_w$ = Total effective area in $m^2$ of walls in the first storey of the Building.		
d = Base dimension of the building at the plinth level along the considered direction of earthquake shaking in meters.		
Soil Type	-	Hard Soil

**B. BASIC LOADS AND LOAD COMBINATIONS:**

The various loads are combined in accordance with the stipulations in IS: 875 (Part 5) - 1987. Wherever imposed load is combined with earthquake load the appropriate part of the imposed load as specified in IS: 1893 (Part 1) - 2016, is adopted both for evaluating earthquake effect and for combined load effects, used in such combination.

Analysis is carried out using ETABS 2020 – 20.3.0 Version software.

Load Combinations for Dead & Live Loads:

- DL+LL

Load Combinations for Seismic:

- DL+EQX
- DL-EQX
- DL+EQY
- DL-EQY
- DL+LL+EQX
- DL+LL-EQX
- DL+LL+EQY
- DL+LL-EQY
- 0.9DL+EQX
- 0.9DL-EQX
- 0.9DL+EQY
- 0.9DL-EQY

Factored Load Combinations for Dead & Live Loads:

- 1.5[DL+LL]

Factored Load Combinations for Seismic:

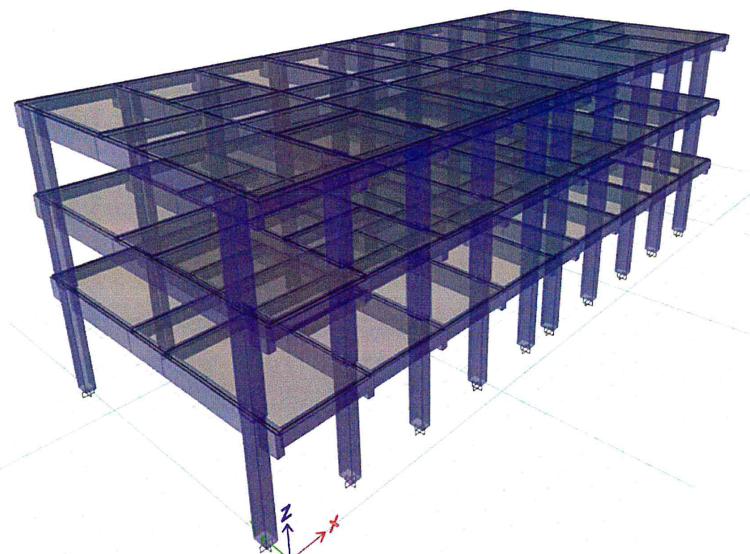
- 1.5[DL+EQX]
- 1.5[DL-EQX]
- 1.5[DL+EQY]
- 1.5[DL-EQY]
- 1.2[DL+LL+EQX]
- 1.2[DL+LL-EQX]
- 1.2[DL+LL+EQY]
- 1.2[DL+LL-EQY]
- 0.9DL+1.5EQX
- 0.9DL-1.5EQX
- 0.9DL+1.5EQY
- 0.9DL-1.5EQY

### **3. Materials**

- Grade of Concrete – M20
- Grade of Steel – Fe 415

### **4. Analysis & Design verification Methodology**

- The structure is analyzed for Gravity Load and Lateral loads, and its combinations using ETABS 2020 – 20.3.0.



**Extrude View from Etabs**

- Gravity loads are applied as mentioned in the above section 2
- Earthquake loads are applied as mentioned in the above section 2
- The design verification of all Reinforced Concrete (RCC) members has been carried out in accordance with the Limit State Method specified in IS: 456-2000.

### **5. Available Data of Existing Structural Members**

**Non-Destructive Testing (NDT) was conducted on the existing building to assess its structural integrity. The tests aimed to evaluate the building's condition without causing damage**

#### **Tests Conducted**

- Ultrasonic Pulse Velocity (UPV) Test: To assess concrete quality and detect internal defects.
- Rebound Hammer Test: To measure concrete surface hardness and compressive strength.
- Cover Meter Test: To determine concrete cover thickness and reinforcement location.

#### **Summary of Test Results**

##### **• Foundation**

##### **RESULTS OF REBOUND HAMMER TEST**

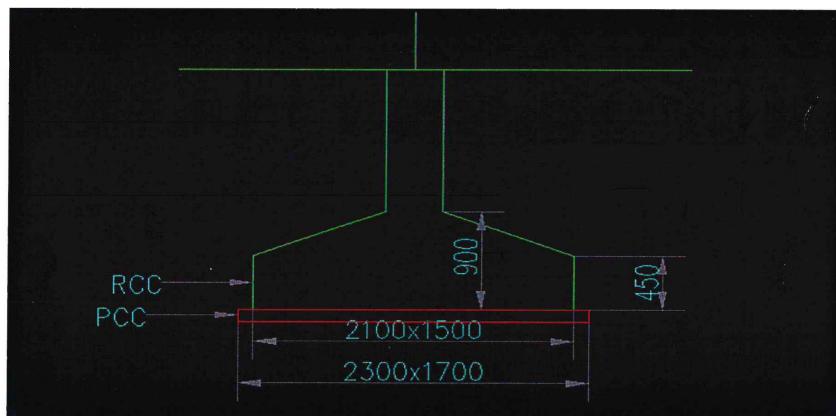
Project	:	Library building at Century club
Members tested	:	RC footing
Date of study	:	04 <sup>th</sup> and 5 <sup>th</sup> December 2024.
Grade of concrete	:	Not furnished*
Age of concrete	:	More than 28 days*
Test instrument	:	Schmidt Hammer.
Make	:	M/s. Proceq, Switzerland.
Position of hammer	:	Inclined downwards
Technical reference	:	1) Indian Standard IS: 516-(Part-5/Sec-4)-2020. 2) Instrument manual furnished by M/s. Proceq, Switzerland.

Sl. No.	Floor / Member Identification**	Grid Identification**	Avg rebound number +	Remarks
Ground floor				
1	RC footing	C/7	30	Refer Table – 1A for estimated strength range of in-situ concrete
2			31	

TABLE - 1A  
REFERENCE STRENGTH CHART FOR  
REBOUND HAMMER TEST

Equipment	:	Schmidt Hammer
Make	:	M/s. Proceq, Switzerland
Type	:	N-34
Technical reference	:	1. IS: 13311-(Part-II) – 1992 and 2. Instrument manual furnished by M/s. Proceq, Switzerland

REBOUND NUMBER	ESTIMATED STRENGTH RANGE (N/Sq.mm)
22 to 26	10 to 14
26 to 30	14 to 18
30 to 34	18 to 22
34 to 38	22 to 26
38 to 42	26 to 30
42 to 46	30 to 34



Remarks of NDT Test on Foundation Concrete : **Concrete Quality is Good**

- Column & Beam

## RESULTS OF ULTRASONIC PULSE VELOCITY TEST

Project : Library building at Century club  
Members tested : RC columns and beams  
Dates of test : 04<sup>th</sup> and 5<sup>th</sup> December 2024.  
Grade of concrete : Not furnished\*  
Age of concrete : More than 28 days\*  
Test instrument : PUNDIT Lab (Portable Ultrasonic Non-destructive Digital Indicating Tester)  
Make : M/s. Proceq, Switzerland  
Test method : Direct, Semi-direct and Indirect method  
Technical reference : 1. Indian Standard IS: 516-(Part5/Sec 1)-2018 Non-Destructive Testing of Concrete, Methods of Tests, Ultrasonic Pulse velocity  
2. Instrument manual furnished by M/s. Proceq, Switzerland

SL. No.	Floor / Member Identification**	Grid Identification**	Average Pulse velocity (km/sec)	Remarks
1	2	3	4	5
GROUND FLOOR				
1	RC columns	B/1	3.5	Refer Table – 2A for quality grading of in-situ concrete
2		B/3	4.0	
3		B/4	3.7	
4		C/7 at juction	3.6	
5	RC Beams	A-B/3	4.0	
6		A-B/4	3.6	
7		B-C/5 at support end	4.0	
8		B-C/5 at mid	4.1	
9		C-D/7	3.9	
10		B-C/1 at support end	3.6	
11		B-C/1 at mid	3.6	

\* A-4 furnished by the customer

TABLE - 2A

TABLE – 1A (As per IS: 516-(Part 5/Sec 1): 2018)  
REFERENCE QUALITY GRADING CHART FOR  
ULTRASONIC PULSE VELOCITY TEST

Instrument	:	PUNDIT Lab [Portable Ultrasonic Non-Destructive Digital Indicating Tester]
Make	:	M/s. Proceq, Switzerland
Reference	:	IS: 516-(Part 5/Sec 1): 2018 Amendment No. 1, Nov-2019

Pulse Velocity (Km/sec)	Concrete Quality Grading
For Concrete ( $\leq$ M25)	
Below 3.5	Doubtful
3.5 to 4.5	Good
Above 4.5	Excellent
For Concrete ( $>$ M25)	
Below 3.75	Doubtful
3.75 – 4.50	Good
Above 4.50	Excellent

Note: Concrete quality grading for different velocity criterion as reproduced  
From Table-1 of IS: 516-(Part 5/Sec 1): 2018, Amendment No. 1, Nov-2019

Remarks of NDT Test on Column & Beam Concrete : **Concrete Quality is Good**

TABLE - 3

RESULTS OF COVERMETER TEST

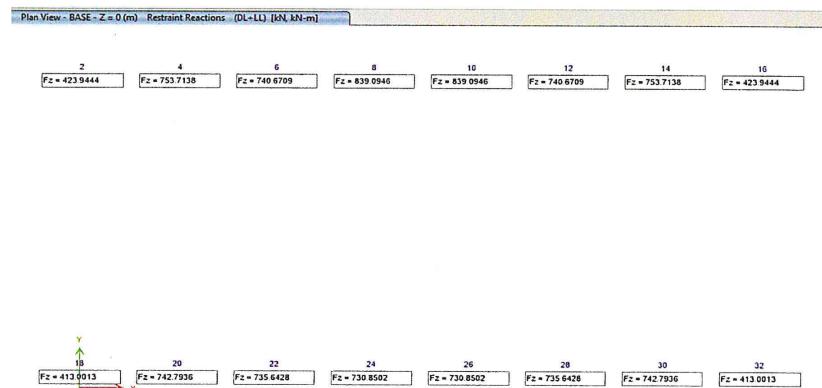
Project : Library building at Century club Bangalore.  
Members tested : RC members  
Dates of test : 04<sup>th</sup> and 5<sup>th</sup> December 2024.  
Test instrument : Profometer 5<sup>+</sup>  
Make : M/s. Proceq, Switzerland  
Technical references : BS: 1881-(Part 204)-1988 & Test Instrument Manual "Metal & Reinforcement Detector" From M/s. Proceq, Switzerland.

Sl. No.	Floor / Member Identification*	Grid Identification*	Range of cover concrete (mm)**	Disposition of peripheral reinforcement and probable diameter
GROUND FLOOR				
1	RC Columns	C/7	49-53	Main Bar: 4nos-20/25 dia and 4nos -16/20 dia 4nos Ties: 175 mm c/c
2		B/1	48-54	
3		B/5	42-47	
4	RC Beams	B-C/5 at support end	37-41	Main Bar: 2nos-20/25 dia @ bottom and second layer - 2nos - 20/25 dia Stirrups: 125mm c/c at mid and support end
5		B-C/5 at mid	36-40	
6		B-C/1 at support end	34-39	
7		B-C/1 at mid	33-39	
8		A/B-4	34-38	Main Bar: 2nos - 16/20 dia @ bottom Stirrups: 150mm c/c

## 6. Design verification of Existing Structure

### 6.1. Adequacy Check for Isolated Footings

#### 6.1.1. Check for Base Pressure Under Isolated Footing & Concrete Depth



Reaction from Etabs analysis for (DL+LL)

INPUT													
COLNO	COMB	FN	DEPTH OF EXCAVATION:				NET SBC	250.00	375.00				
			FY kN	MX kNm <sup>2</sup>	MY kNm <sup>2</sup>	L in m	B in m	COLUMN D in 'm' B in 'm'	COLUMN D in 'm' B in 'm'	PEDESTAL in 'm'	FOOTING DEPTH in 'mm'	FOS	
Fl	1	101	DL+LL	839.00	28.00	2.80	2.30	1.70	0.60	0.375	0	900	1.5
PRESSURE CHECK			REINFORCEMENT			ONE WAY SHEAR			TWO WAY SHEAR				
PMAX (net) kNm <sup>2</sup>	PMIN (net) kNm <sup>2</sup>	CHECK	X-DIRECTION	Y-DIRECTION	CHECK	T <sub>v</sub>	CHECK	T <sub>v</sub>	CHECK	T <sub>v</sub>			
241.72	187.44	SAFE	Y12 @100 C/C	Y12 @100 C/C	SAFE	0.00	SAFE	-0.08	SAFE	0.17			

Remarks on Footing Size & Concrete Depth : Base pressure under Footing is Less Than 250kN/m<sup>2</sup> & Concrete Depth is okay in Both One way & Two-way shear. Hence Foundation is okay

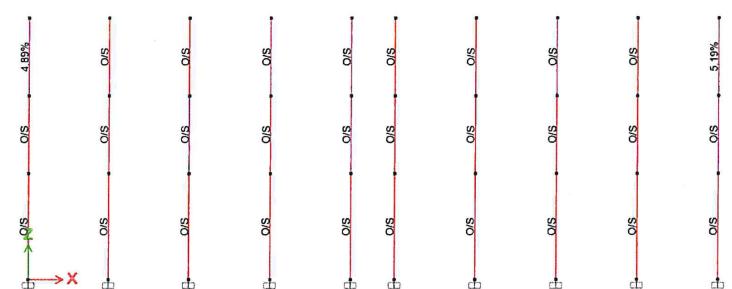
### 6.2. Adequacy Check for Column

6.2.1. As per Etabs Analysis Column Design is Checked. And it is found existing Columns in GFL , 1<sup>st</sup> & 2<sup>nd</sup> floor having sizes 230x450 are **inadequate**

3-D View - Longitudinal Reinforcing (IS 456:2000)



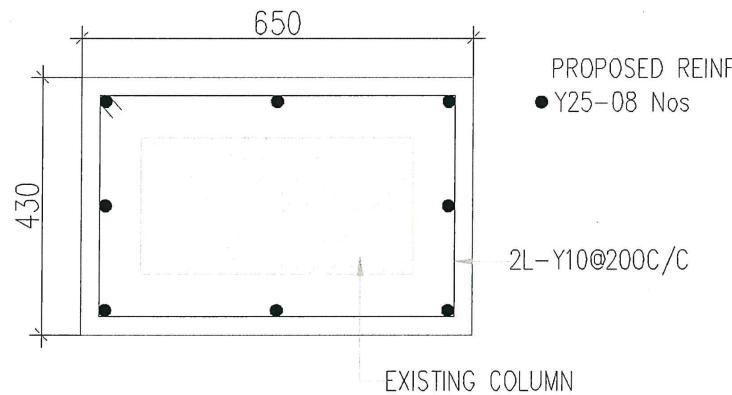
Elevation View - Elev05 Rebar Percentage (IS 456:2000)



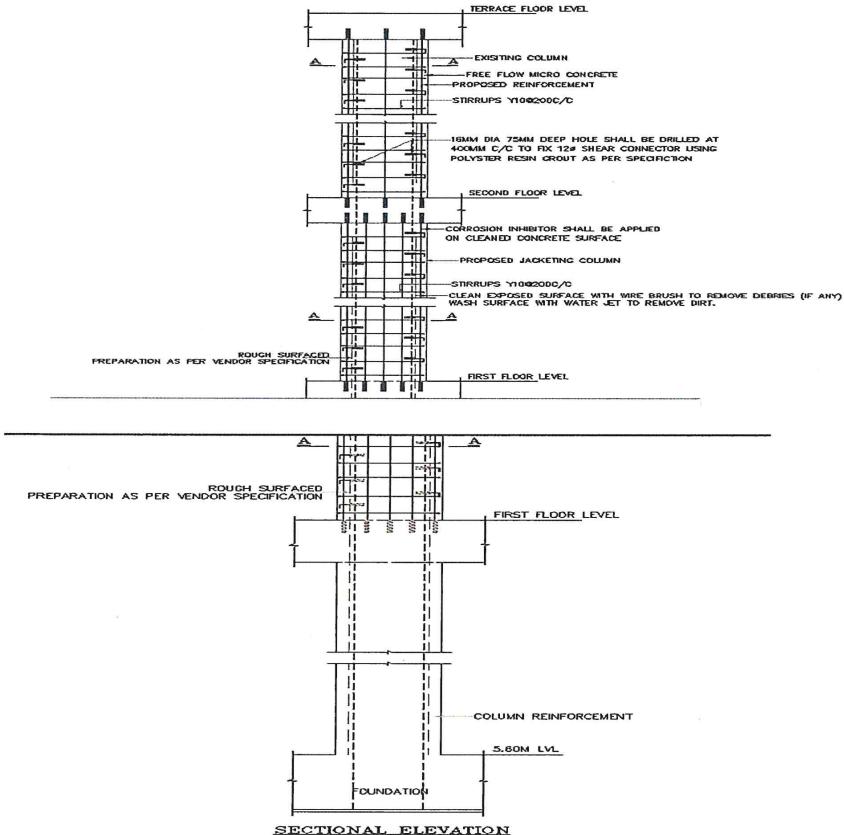
## Results :

Sl No	Column No	Levels	Size		Provided Rebar(As per Cover Meter)	Provided Ast mm <sup>2</sup>	Required Ast ( As per Etabs Analysis)	Remarks
			Width	Length				
1	C1	GFL	230	450	4-Y25+4-Y16	2768.00	Columns Fails	As the Existing columns are Not Adequate Strengthening of Columns are proposed . Details are presented in Drawing DRG NO:- SD-01
	C1	1	230	450	4-Y25+4-Y16	2768.00	Columns Fails	
	C1	2	230	450	4-Y25+4-Y16	2768.00	Columns Fails	

Remedy : Column shall be retrofitted with additional Concrete & additional reinforcement ( Refer Below Details)



### COLUMN STRENGTHENING DETAILS



### Retrofitting Procedure for Column Strengthening

#### **Step 1: Surface Preparation**

1. Clean exposed surface with wire brush to remove loose debris(If any).
2. Wash surface with air/water jet to remove dirt .

#### **Step 2: Reinforcement Protection**

1. Apply two coats of anti-corrosive chemicals to exposed reinforcement(If any).
2. Allow coatings to dry according to manufacturer's instructions.

#### **Step 3: Corrosion Inhibitor Application**

1. Apply corrosion inhibitor to cleaned concrete surface.

#### **Step 4: Shear Connector Installation**

1. Drill 16mm diameter, 75mm deep holes at 400mm centers.
2. Fill holes with polyester resin grout.
3. Fix 12mm diameter shear connectors into grouted holes.

#### **Step 5: Additional Reinforcement**

1. Install proposed reinforcement as per strengthening details.

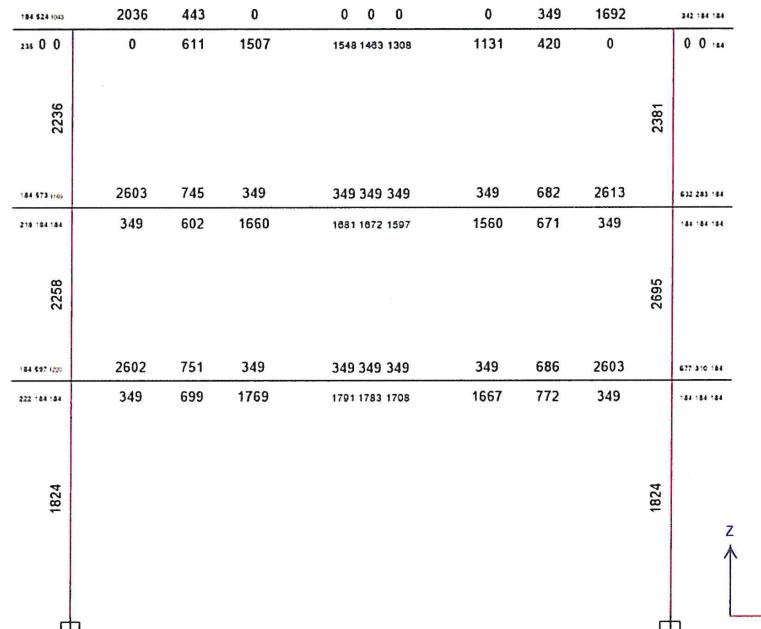
#### **Step 6: Micro Concrete Encasement**

1. Prepare micro concrete mix according to specifications for M30 Mix.
2. Apply micro concrete encasement around retrofitted column.
3. Micro Concrete shall be cured as per Standard practice

### **6.3. Adequacy Check for Main Beam**

6.3.1. As per Etabs Analysis Beam Design is Checked.

For Main Beam 230x800



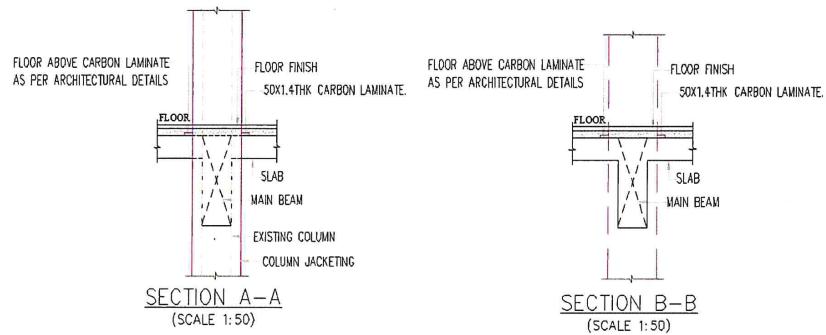
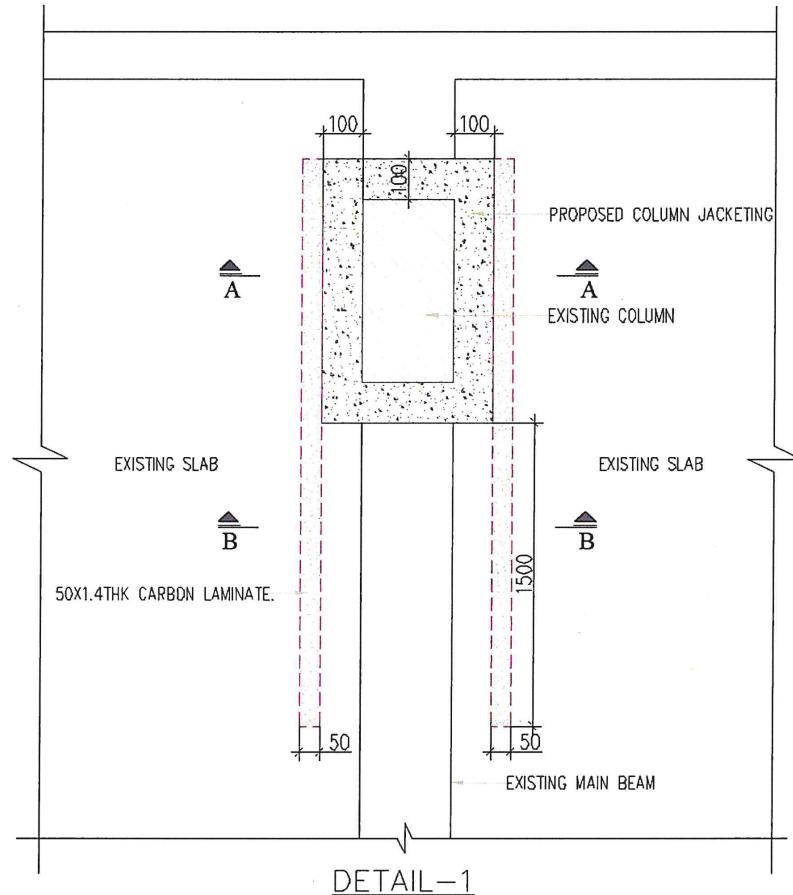
Ast Required at Top is **2613.00mm<sup>2</sup>**.

Ast provided is \*(2-Y25+2-Y25) i.e., **1964mm<sup>2</sup>**.

Ast Provided **1964mm<sup>2</sup>** is less than Ast Required **2613mm<sup>2</sup>**.

Hence Beam retrofitting is required.

Remedy : Strengthening of Main Beam with Carbon laminates is proposed ( Refer drawings)



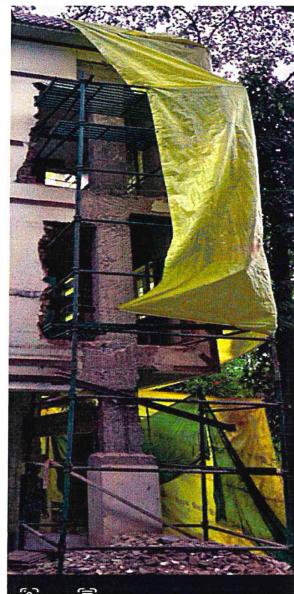
PROCEDURE FOR BEAM STRENGTHENING :-

- 1) **PROVIDE SUPPORT TO EXISTING MAIN BEAMS AND SECONDARY BEAMS.**
- 2) JACKETING SHALL BE DONE WITH MICRO CONCRETE UP TO FIRST FLOOR RCC SLAB LEVEL AFTER FIXING THE REINFORCEMENT AS PER DRAWING.
- 3) CUT 25X25mm GROOVE IN EXISTING COLUMN AS SHOWN IN DRAWINGS AND CLEAN THE SURFACE
- 4) PROVIDE & FIX THE CARBON LAMINATE AS SHOWN IN THE SKETCH AS PER VENDOR DETAILS.
- 5) CONTINUE THE COLUMN JACKETING UPTO SF RCC SLAB LEVEL AND REPEAT THE STEPS 2 TO 4
- 6) REPEAT ABOVE PROCEDURE TILL TERRACE LEVEL.

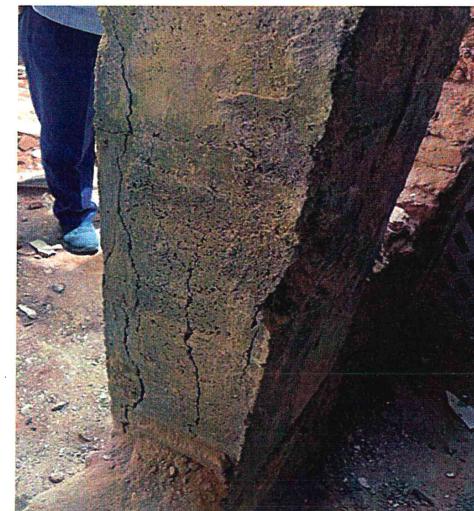
## 7. Construction Deficiencies of existing structure observed at site

### a. In Column

- On Inspection of columns after removal of the brick work around and removal of column plaster, it is seen that the column alignment is not truly vertical and eccentricity is 25 to 50mm.



- Cracking observed in the existing column



Remedy : To address the above encasement of 100m all-round is suggested

- Reinforcement corrosion



Remedy : On clearance of brickwork around column and removal of column plastering, it is seen that column reinforcement are slightly exposed and corroded. Anti-Corrosive Treatment for columns with encasement of 100mm all-round is suggested

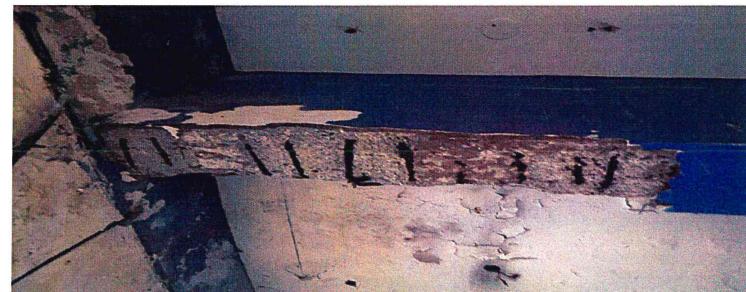
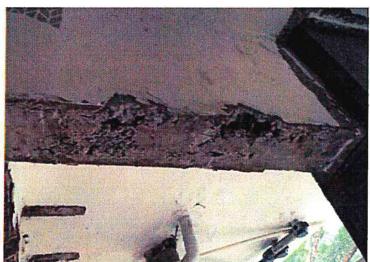
- Electrical conduit/pipes are encased within column's cross section



Remedy : All such electrical pipes/conduits shall be removed & encasement of 100mm all-round is suggested

**b. In Beam**

On removal of brick work below beams - lot of Honey comb, cavities and poor concreting in cover zone is seen. Also, reinforcement is slightly corroded. In view of above beam strengthening is required.





**Retrofitting of beam bottom: Brickwork below main beams shall be removed by 450 mm and inspected for requirement of repair**

c. In Slab



cavities and poor concreting in cover zone is seen. Also, reinforcement is slightly corroded. In view of above rectification is required

Procedure for strengthening of Existing Slab

1. Remove Loose concrete in the cover Zone
2. Apply anti corrosive paint to the exposed reinforcement
3. place 2"x2" MS weld mesh & fix the same in position with connectors provided at 1m c/c
4. finish the same with structural grade plaster using polymer modified compound

## **8. Concluding Remarks**

- Retrofitting: Strengthen columns and beams as proposed to ensure structural adequacy.
- Shear Stress Compliance: Shear stresses in beams marginally exceed IS 456-2000 limits under Earthquake analysis. This is acceptable in our opinion, considering overall structural integrity.

## **9. Recommendations**

- Implement proposed retrofitting scheme.
- Monitor structural performance post-retrofitting

COST COMPARISON BETWEEN EARLIER ESTIMATE AND AS PER SITE CONDITION									
SL.NO	DESCRIPTION	UNIT	AS PER AWARD OF WORK			AS PER SITE CONDITION		DIFFERENCE	Remarks
			QTY	RATE	AMOUNT	QTY	AMOUNT		
1	<b>Removal of Masonry Wall around Column / Beams to facilitate Retrofitting</b> Cutting & removing masonry wall for a width of 0.5 to 1.5 meter on either side of column / Beam using necessary cutting machine, electrical chipper tools and tackle labour etc., and disposal of debries to a designated location as directed by engineer-in-charge and reconstructing the same after completion of encasement. COST inclusive of all materials, consumables, scaffolding,								
	<b>GF</b>	Cum	-	1,029.00	-	12.00	12,348.00	12,348.00	
	<b>FF</b>	Cum	24.00	1,029.00	24,696.00	39.00	40,131.00	15,435.00	
	<b>SF</b>	Cum	24.00	1,029.00	24,696.00	41.00	42,189.00	17,493.00	
2	Surface preparation of the existing column using electrical chipper followed by								
	Ground Floor to First Floor	Sqm.		375.00		82.00	30,750.00	30,750.00	
	Fist Floor to Second Floor	Sqm.	74.00	375.00	27,750.00	88.00	33,000.00	5,250.00	
	Second Floor to Third Floor	Sqm.	74.00	375.00	27,750.00	88.00	33,000.00	5,250.00	
3	<b>Drilling and fixing shear connectors in concrete</b> Drilling 16 mm dia and 75 mm deep holes at 500mm C/C in concrete in staggered pattern for fixing shear connectors, using rotary-cum-hammering action electrical drilling machine with concrete drill bits of suitable size in all sides of the RC Column and cleaning with compressed air for fixing 12 mm dia column bars with polyster resign grout. ("Sika AnchorFix-3030" or Equivalent) as per sketch and directions of the Engineer-in-charge. The cost inclusive of labours, tools and tackles, staging, machinery hire								A) on Inspection of columns after removal of the brick work around and removal of column plaster, it is seen that the column alignment is not truly vertical and eccentricity is 25 to 50mm. B) Also the actual column sizes are smaller than considered for earlier estimate. C) Ground Floor columns on the rear side (7 Nos) which were not accessible earlier were considered to be jacketed in line with other columns. After site clearance it is seen jacketing not done. Increased quantity is in view of above details
	Ground Floor to First Floor	No.		525.00		1,233.00	647,325.00	647,325.00	
	Fist Floor to Second Floor	No.	720.00	525.00	378,000.00	1,452.00	762,300.00	384,300.00	
	Second Floor to Third Floor	No.	720.00	525.00	378,000.00	1,465.00	769,125.00	391,125.00	
Extra Item	Drilling of 32mm dia through and through holes in existing slab, cleaning the dust for inserting the main bars with all tools and tackles etc., all level complete	No.		306.00		550.00	168,300.00	168,300.00	
Extra Item	Drilling 12mm dia holes in the column beam junction to accomodate the lateral ties along the C/S of the column all levels								
	Ground Floor to First Floor	No.		120.00		320.00	38,400.00	38,400.00	
	Fist Floor to Second Floor	No.		120.00	-	320.00	38,400.00	38,400.00	
	Second Floor to Third Floor	No.		120.00	-	320.00	38,400.00	38,400.00	
4	Steel fabrication Providing & Fabricating HYSD STEEL Fe-550 (cold, twisted) reinforcement for RCC work including straightening, cutting, bending, hooking, placing in position lapping and / or welding wherever required tying with binding wire and anchoring to the adjoining members wherever necessary complete as per design (laps, hooks, and wastage shall not be measured and paid) and directions of the Engineer-in-charge . COST inclusive of all materials, consumables,shuttering, labours, equipment,drilling holes for fixing the reinforcements in slabs and								A) Ground floor columns on rear side (7 Nos) which were not accessible earlier were considered to be jacketed in line with other columns. After site clearance it is seen that these columns are not jacketed. B) Lap Accounted at two location.
	<b>Ground Floor to First Floor</b>	Kg		92.00		2,600.00	239,200.00	239,200.00	
	<b>Fist Floor to Second Floor</b>	Kg	2,810.00	92.00	258,520.00	3,750.00	345,000.00	86,480.00	
	<b>Second Floor to Third Floor</b>	Kg	2,810.00	92.00	258,520.00	3,750.00	345,000.00	86,480.00	
5	Providing and applying bonding epoxy prior to concreting with all tools and tackles etc., complete.								
	<b>Ground Floor to First Floor</b>	Sqm.	-	735.00	-	82.00	60,270.00	60,270.00	
	<b>Fist Floor to Second Floor</b>	Sqm.	74.00	735.00	54,390.00	88.00	64,680.00	10,290.00	
	<b>Second Floor to Third Floor</b>	Sqm.	74.00	735.00	54,390.00	90.00	66,150.00	11,760.00	

SL.NO	DESCRIPTION	UNIT	AS PER AWARD OF WORK			AS PER SITE CONDITION		DIFFERENCE	Remarks
			QTY	RATE	AMOUNT	QTY	AMOUNT		
6	Providing and supplying shuttering using 12mm water-proof plywood, runners, bolts and structural steel supports with all tools and tackles etc., complete.								
	<b>Ground Floor to First Floor</b>	Sqm.	-	520.00	-	115.00	59,800.00	59,800.00	
	<b>First Floor to Second Floor</b>	Sqm.	106.00	520.00	55,120.00	132.00	68,640.00	13,520.00	
	<b>Second Floor to Third Floor</b>	Sqm.	106.00	520.00	55,120.00	137.00	71,240.00	16,120.00	
7	<b>Free flow micro concreting (M30 GRADE)</b> Providing free flow micro concrete using "SIKAREP MICROCRETE-4" M/s. Sika India Pvt. Ltd. or Equivalent with 2:1 proportion (i.e, Grout : coarse aggregate - 2:1) (10 mm down washed granite aggregates) for columns and beams with slurry tight shuttering as per the specification, including mixing, pouring, curing as per sketch and directions of the Engineer-in-charge Water to be mixed as per Technical data sheet. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles								A) on inspection of columns after removal of the brick work around and removal of column plaster, it is seen that the column alignment is not truly vertical and eccentricity is 25 to 50mm. B) Also the actual column sizes are smaller than considered for earlier estimate. C) Ground Floor columns on the rear side (7 Nos) which were not accessible earlier were considered to be jacketed in line with other columns. After site clearance it is seen jacketing not done. Increased
	<b>Ground Floor to First Floor</b>	Cum.		85,000.00		8.00	680,000.00	680,000.00	
	<b>Fist Floor to Second Floor</b>	Cum.	7.00	85,000.00	595,000.00	10.00	850,374.00	255,374.00	
	<b>Second Floor to Third Floor</b>	Cum.	7.00	85,000.00	595,000.00	12.00	1,020,000.00	425,000.00	
8	<b>Carbon Fiber Wrapping with Epoxy</b> Providing & Fixing Carbon Fiber wrapping with epoxy above Beam. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.								
	<b>FF</b>	Sqm.	2.70	4,500.00	12,150.00			-12,150.00	
	<b>SF</b>	Sqm.	2.70	4,500.00	12,150.00			-12,150.00	
9	<b>U Carbon Wrapping with Epoxy</b> Providing & Fixing U-Carbon wrapping with epoxy between Column and Beam COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.								
	<b>FF</b>	Sqm.	1.80	4,500.00	8,100.00			-8,100.00	
	<b>SF</b>	Sqm.	1.80	4,500.00	8,100.00			-8,100.00	
10	<b>Carbon Wrapping with Epoxy</b> Providing & Fixing Carbon wrapping with epoxy around column COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.								
	<b>GF</b>	Sqm.		4,500.00					
	<b>FF</b>	Sqm.	18.00	4,500.00	81,000.00			-81,000.00	
	<b>SF</b>	Sqm.	18.00	4,500.00	81,000.00			-81,000.00	
11	<b>Structural Plastering</b> Providing and Placing structural Plastering over the Carbon Wrapping, in cement mortar 1:4, with admixtures the average thickness of mortar is limited to 20mm. COST inclusive of all materials, consumables, scaffolding, labours, equipment hire charges, tools and tackles etc., complete.								
	<b>GF</b>	Sqm.		620.00					
	<b>FF</b>	Sqm.	21.00	620.00	13,020.00			-13,020.00	
	<b>SF</b>	Sqm.	21.00	620.00	13,020.00			-13,020.00	
Extra Item	Providing and installing high strength carbon fibre laminate wrap of 50mm wide and 1.4mm thick to 1.5m length in 2 adjacent layers for each beam top column junction as per detailed in the drawing - (Manufacturer from	RMt		3,000.00		86.00	258,000.00	258,000.00	
	<b>SF</b>	RMt		3,000.00		86.00	258,000.00	258,000.00	
Extra Item	Removing loose concrete in the cover zone. Providing and laying anti corrosive paint to the exposed reinforcement. Providing and placing 2"x2" MS weldmess & fixing the same in position with connectors provided at 1m c/c & finishing the same with structural glazed								On removal of brick work below beams - lot of Honey comb, cavities and poor concreting in cover zone is seen. Also reinforcement is slightly corroded . In view of above beam strengthening is required.
	<b>GF</b>	Sqmt		4,750.00		113.00	536,750.00	536,750.00	
	<b>FF</b>	Sqmt		4,750.00		113.00	536,750.00	536,750.00	

SL.NO	DESCRIPTION	UNIT	AS PER AWARD OF WORK			AS PER SITE CONDITION		DIFFERENCE	Remarks
			QTY	RATE	AMOUNT	QTY	AMOUNT		
	<b>SF</b>	Sqmt		4,750.00		113.00	536,750.00	536,750.00	
Extra Item	Providing and applying nito zinc primer to the existing exposed rebars after wire brush and cleaning with air blower								Anti Corrosive Treatment for columns to be jacketed - On clearance of brickwork around column and removal of column plastering, it is seen that column reinforcement are slightly exposed and corroded.
	<b>GF</b>	rmt		150.00		50.00	7,500.00	7,500.00	
	<b>FF</b>	rmt		150.00		50.00	7,500.00	7,500.00	
	<b>SF</b>	rmt		150.00		50.00	7,500.00	7,500.00	
Extra Item	Dismantling of Concrete surface to accommodate new Micro Concrete								
	<b>GF</b>	rmt		1,600.00		4.00	6,400.00	6,400.00	
	<b>SUB TOTAL-A</b>				<b>3,015,492.00</b>		<b>8,679,172.00</b>	<b>5,663,680.00</b>	
	<b>Extra Item list</b>								
Extra Item	Brick work -9" -FF								
	<b>GF</b>	Cum	-	9,000.00		12.00	108,000.00	108,000.00	
	<b>FF</b>	Cum	-	9,000.00		39.00	351,000.00	351,000.00	
	<b>SF</b>	Cum	-	9,000.00		41.00	369,000.00	369,000.00	
Extra Item	Providing plastering to External and internal masonry wall surfaces with CM 1:6 (1cement : 6 fine sand) 12mm to 20mm thick, applied in one coat including finishing Rough to receive tiling work etc., complete and as directed.								
	<b>GF</b>	Sqmt		753.20		85.00	64,022.00	64,022.00	
	<b>FF</b>	Sqmt		753.20		269.00	202,610.80	202,610.80	
	<b>SF</b>	Sqmt		753.20		278.00	209,389.60	209,389.60	
Extra Item	providing and applying the two coats of putty, primier and paint for the wall and ceiling with necessary materials.								
	<b>GF</b>	Sqmt		430.40		125.00	53,800.00	53,800.00	
	<b>FF</b>	Sqmt		430.40		425.00	182,920.00	182,920.00	
	<b>SF</b>	Sqmt		430.40		435.00	187,224.00	187,224.00	
Extra Item	Provling and Placing of RCC M25 grade concrete for extension of slab for placing of carbon wrapping at column beam junction, cost including surface preparation, drilling of holes, placing of reinforcement, centering and shuttering, <del>and carbon wrapping and double centering concrete and as directed</del>								
	<b>GF Roof</b>	Cum		10,500.00		1.00	10,500.00	10,500.00	
	<b>FF Roof</b>	Cum		10,500.00		1.00	10,500.00	10,500.00	
Extra Item	Resin Grouting for Beams							-	
	Qty calculated by assuming 1 ltr consumption on 1m length of the beam - total 350 mtr over length of the beam - to be measured and paid as per actuals	Ltr		1,300.00				-	
Extra Item	Drilling and Nossel fixing for resin grouting	Point		200.00				-	
	Qty calculated by assuming points , at an interval of 600mm on either side of beam - total 500mtr over length of the beam - to be measured and paid as per actuals							-	
	<b>SUB TOTAL-A</b>				<b>-</b>		<b>1,748,966.40</b>	<b>1,748,966.40</b>	
	<b>Sub Total-A</b>				<b>3,015,492.00</b>		<b>10,428,139.00</b>	<b>7,412,647.00</b>	
	TOTAL DIFFERENCE AMOUNT (Excluding GST)								
	9% CGST						938,532.51		
	9% SGST						938,532.51		
	<b>TOTAL DIFFERENCE AMOUNT (Including GST)</b>				<b>-</b>		<b>12,305,204.02</b>		

## ANNEXURE IV

Tuesday, November 18, 2025

The President

Century Club, Seshadri Road,  
Bengaluru - 560001.

Dear Sir;

**Subject: Guest House Building**

I thank you very much for giving me the opportunity to express my views and opinions on the report of *Adequacy of Existing Guest House Building* by M/s Nagesh Consultants, Bengaluru.

**I have studied the report and the followings are my views:**

1. M/s. Nagesh Consultants report is excellent and exhaustive. But, it is for Retrofitting only. In Retrofitting, It is considered the revised of Indian Codes updated as on date.
2. In my opinion instead of retrofitting , is restoring the building considering deterioration, repairs need to be considered taking into account age of the building which is stated to be about 40years old.
3. Based on my site visit and inspection, I did not observe any cracks or distress in structural elements nor any signs of corrosion. Hence, as mentioned in M/s. Nagesh Consultants report, Slab restoration work as mentioned in the report may be done.
4. At the interface of bottom of beam and top of brick walls, holes to be drilled at 450mm centre to centre and inject with low viscosity grouts.

You may feel free to contact me for further clarification if any, and explain further if need be and any quires can be explained at the site.

Yours truly *With regards*

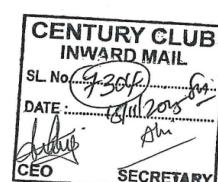
*Umesh B Rao*

Consulting Civil Engineers

# C1409, Brigade Millinium, Bangalore - 560078

Mob: 9902069351

*DB/EC*  
*Abi*



## ANNEXURE V

REPORT

on

**Structural advice on restoration of guest house building at Century  
Club, Bangalore**

**CLIENT:**

M/s Century Club  
No. 1, Seshadri Road,  
Bangalore 560001

**CONSULTANT:**

**Dr. J. M. Chandra Kishen**  
Professor



Department of Civil Engineering  
Indian Institute of Science  
Bangalore 560012

DECEMBER 2025

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### 1. Introduction:

The President of Managing Committee of Century Club, Bangalore, approached the Indian Institute of Science, Bangalore through a letter, dated 18.11.2025 with a request to review and provide suggestions on the renovation of the fifty year old ground plus two storeyed guest room building at their premises at No. 1, Seshadri Road, Bangalore 560001. Accordingly, Dr. J. M Chandra Kishen, Professor at the Department of Civil Engineering, Indian Institute of Science agreed to undertake this task.

### 2. Scope of the work:

To provide support and technical expertise on the following:

1. Visual inspection of the guest room building under renovation.
2. Provide advice on the ongoing rehabilitation work.
3. Review of test results and providing expert advice on appropriateness of the remedial/rehabilitation measures being taken and provide suggestions for any further steps required to ensure safety and functionality of the building.

This report gives a detailed assessment on the above scope.

### 3. Background Information on the guest house building:

The guest house building is about fifty years old comprising of ground plus two-storeys (three slabs) RCC framed building located on Seshadri road. It has a plan dimension of about 13m X 27m. The floor-to-floor height in the ground floor is about 4.35m, first floor about 3.2 m and second floor about 3.3m. The columns are of size, 230mm X 450mm on all floors. The main beams are 230mm X 800mm and secondary beams of 230 X 450mm in size. The infill walls are constructed with brick masonry in cement mortar.

### 4. Observations made during site visit:

This consultant made a visit to the building on November 21, 2025. The following observations were made during this visit:

1. A few infill walls on the ground floor in the entrance area were removed.
2. All the columns were strengthened through encasement from the top of footings

3. The brick masonry wall adjoining the columns had been broken up to the beam bottom to facilitate the strengthening of columns.
4. The bottom reinforcing steel in most of the beams were seen to be exposed and had no concrete cover. Honeycombing and voids were observed at the bottom of the concrete beams.
5. The beams were hit by a hammer to get a feel on the soundness of concrete inside. A good metallic sound was heard indicating no voids or honeycombs inside. In addition, the quality of concrete appeared to be good.
6. Some amount of corrosion was seen on the exposed steel bars in the beams.
7. Extension of the toilet slab was being done by extending the steel reinforcement on a sacrificial shutter placed on a steel girder below.
8. Two layers of flooring had been removed from the floor slab – one the original granite slab and the other being a wooden overlay.
9. The condition of the floor slab appeared to be sound.

## 5. Overall structural assessment of the building

The summary of the condition of various components of the building are as follows:

- I. **FOUNDATION** – Although the foundation was not visually seen, its condition is inferred as being good since no settlement cracks were seen on the walls or near stairways. The beam column joints appeared to be sound and stable.
- II. **COLUMNS** – All the columns have been strengthened by encasement. Eight numbers of 25mm diameter steel bars have been added, four at the corners and one each on the mid-face. 100mm concrete is added to all the four faces resulting in a cross-sectional dimension of 650mm X 430mm. The condition of the strengthened columns appeared to be sound and robust.
- III. **BEAMS** – The columns being encased with concrete, the masonry walls had to be demolished adjoining it, thereby exposing the bottom of beams. The concrete in the bottom of the beams had honeycombs and voids and the reinforcement at the bottom had no concrete cover at many places. The vibration seemed to be inadequate during its construction. Despite this observation, the concrete did not appear to have lost its integrity. The concrete appeared to be very hard and strong. Hard blows were given with a hammer near the voids of the beam. A distinct metallic sound was heard at almost all

the places and the concrete did not show any signs of looseness. Furthermore, no visible deflections or cracking in the walls below the beams were observed.

- IV. **FLOOR SLABS** – At many places the original concrete slab was exposed due to the removal of floor tiles. The condition of concrete appeared to be sound and strong. There were no signs of cracking or disintegration of the concrete. No signs of efflorescence or corrosion of steel bars inside were observed.
- V. **STAIRCASE** – The waist slab of the staircase appeared to be good and sound. There were no signs of cracking.
- VI. **EXTERNAL WALLS** – The external walls of the building appeared to be good and sound. There were no signs of major distress in the form of settlement, cracking or dampness.

## 6. Assessment of non-destructive test results

The client had provided a report on the non-destructive tests that had been carried out in December 2024. The following non-destructive tests had been carried out:

- a. Rebound hammer test
- b. Ultrasonic pulse velocity (UPV) test
- c. Cover meter test

The rebound hammer test provides a qualitative assessment of the concrete surface characteristics such as hardness and indirectly provides a probable range of its compressive strength. The test performed on the reinforced concrete footing indicated that the concrete quality was good and the compressive strength of the concrete was estimated to be in the range of 18 to 22 MPa.

The UPV test is done to assess the quality of concrete in the inside of the structural member and to detect any internal defects. This test was performed on columns and beams. The average pulse velocity recorded on the beams and columns was in the range of 3.5 to 4.0 km/sec indicating that the concrete quality was good.

The cover meter test provides the depth of rebar or the cover thickness. This test was performed on beams and columns. The cover concrete was seen to be in the range of 33 to 50 mm, indicating good protection to the steel reinforcement against corrosion.

Furthermore, the main peripheral reinforcement was assessed as 20/25 mm for columns and 16/20 mm for beams, which is commonly adopted for similar sized spans.

## 7. Recommendations

Based on the visual inspection and the non-destructive test report, the following recommendations are made to retrofit the guest house building in order to make it safe for the functions it is designed for.

- I. **Foundations** – no intervention is required for the foundation footings. After the encasement of columns, the soil should be filled back up to the ground / plinth level in layers of 200 mm and well compacted. Water may be added during the backfilling of soil.
- II. **Columns** – the ongoing encasement of the columns with micro concrete should be continued and completed.
- III. **Beams** – since honeycombing and loss of concrete cover are observed at the bottom of the beams, these need to be addressed through injection of cementitious grout under pressure. The following procedure may be adopted. This applies only for the beams which are exposed either due to encasement of columns or for testing or other purpose. All other beams which are not exposed and with walls below them need not be touched.
  - a. **Surface preparation:** The beams that are exposed during encasement of columns should be thoroughly cleaned of all loose concrete using a hammer. The dust and all loose particles should be removed using a wire brush and air/water jet. The exposed steel reinforcement should be cleaned and sprayed with an anti-corrosion coating.
  - b. **Fixing of nozzles for injection of grout** – holes should be drilled at 45 degree angle into the honeycombed region at a spacing of about 200 to 300 mm without damaging the steel reinforcement. Injection nozzles / nipples should be fixed using epoxy or any other suitable adhesive.
  - c. **An epoxy or polymer mortar** should be applied over the honeycombed area to prevent the leakage of grout during injection.
  - d. **Preparation of non-shrink grout** - A non-shrink cementitious grout (as per IS 4031) should be prepared with a water to cement ratio of about 0.40 – 0.50 for pumpable consistency. The grout mix should be mixed

thoroughly to avoid lumps and ensure uniformity. Combextra GP2, a non-shrink cementitious grout manufactured by Fosroc may be used. Other similar non-shrink grouts manufactured by BASF (Masterflow 928) or Sika (SikagROUT-212) can be used.

- e. **Injection of cementitious grout** – A manual or a pressure type pump may be used to inject the grout. The injection process is started from the lowest port / nozzle, upward to ensure complete filling. A pressure of 0.2 – 0.4 MPa is maintained until the grout flows from the next nozzle. The filled nozzle is closed, and the process is continued with the next nozzle.
- f. **Curing** – The grout is allowed to set and cure for seven days by keeping it moist.
- IV. **Floor slab** – Since a new flooring material is planned to be used, the old floor material / tiles should be removed until the mother slab is exposed. The slab should be cleaned thoroughly with metal brush and air/water jet. The regular procedure for laying of ceramic or other tiles may be adopted.
- V. **Masonry walls** – the exposed portion of the brick masonry walls should be removed of all loose bricks and mortar. They should be properly cleaned with a wire brush and water/air jet. The walls should be completed with table moulded bricks using cement mortar of 1:6 mix.
- VI. **Plastering** – all the exposed portion of the walls, beams and columns should be plastered using cement mortar of mix 1:6 with a thickness of 15 – 20 mm. Clean and well graded M-sand (Zone II or III as per IS383) should be used for preparing the cement mortar. At the junction between concrete (beams and columns) and brick masonry, two layers of steel wire chicken mesh may be fixed using nails before plastering.
- VII. **Flooring** – the floor tiles may be fixed using cement mortar of thickness not exceeding 25 mm. This is to reduce the dead weight on the floor slab.
- VIII. **Toilets** – the extension of the toilet area should be continued using the same procedure as is being followed. Care should be taken to ensure adequate slope in the floor to allow for quick draining of the water. As stagnation of water on the floor is the main cause for seepage and leakages causing dampness, the provision of the slope should be given utmost importance. Water proofing of the floor should be done using the following procedure:

- a. The surface should be prepared by removing all the loose particles it may be noted that adequate slope (1:40) be provided towards the drain through screed concrete over which the water proofing is done. All the cracks and joints should be treated with epoxy filler or polymer modified mortar.
- b. Allow the surface to be dry. Apply a primer coat compatible with waterproofing system to be used. Allow it to dry for about 4 to 6 hours.
- c. The joints and corners should be treated by applying a fillet coving (about 20-25 mm radius) at wall to floor junction using polymer modified mortar. The pipe joints and corners should be reinforced with non-woven fabric or fiberglass mesh embedded in waterproof coating.
- d. Waterproofing coat – apply two or three coats of polyurethane / acrylic (Nitoproof 900) coats of liquid membrane using brush or roller. Embed reinforcing mesh at critical points. The film thickness when dry should be in the range of 1.0 – 1.5 mm (as per product specifications).
- e. Protection layer – curing should be done after the above waterproofing for 24 to 48 hours. Now a protection screed of thickness about 20 – 25 mm using cement mortar (1:4) with waterproof compound should be applied by maintaining the slope towards the drain.
- f. Fixing of tiles – the tiles should be laid using polymer-modified tile adhesive. The joints should be grouted with waterproof grout.
- g. Curing – curing should be done for about seven days before heavy use.

## 8. Concluding Remarks

The guest house building comprising of ground plus two upper floors is structurally stable. No structural defects in the form of beam deflections, cracking in beams and columns or settlement of foundations has been observed. The retrofitting work as mentioned in this document would ensure that the building will serve its intended use without losing its structural stability and integrity.

Dr. J. M. Chandra Kishen



Dated: 09 December 2025

Professor, Dept. of Civil Engineering  
 Indian Institute of Science  
 Bangalore 560012

**Dr. J. M. CHANDRA KISHEN**  
 Professor  
 Dept. of Civil Engineering  
 Indian Institute of Science  
 Bangalore - 560 012

### 3. RENOVATION OF BAR I TONE

#### STATEMENT OF RENOVATION OF BAR I TONE - SGM SANCTION, WORK EXECUTED AND AMOUNT SPENT (PAYMENT MADE DETAILS), AS ON 15/12/2025 (Amount in Rupees)

SGM Dt: 29/06/2024- Sanctioned Rs. 5,00,00,000/- for all party hall renovations. Proportionate of Rs.1,25,00,000/ is approved for BAR I TONE		SGM Sanctioned Budget Amount	AS PER TENDER WORK ORDER ISSUED	WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)				
I	SGM Sanction Budget dt 29/6/2024	1,25,00,000									
A	CONTRACTOR										
W.O- PRO-36/31.03.2025											
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil & Interior Work		66,73,849	12,01,293	78,75,142	3,55,733	64,032	4,19,765	3,55,733	64,032	4,19,765
2	Electrical Works		3,37,370	60,727	3,98,097	-	-	-	-	-	-
3	PHE Works		1,12,560	20,261	1,32,821	-	-	-	-	-	-
4	Structural Work		19,15,280	3,44,750	22,60,030	2,32,762	41,897	2,74,659	2,32,762	41,897	2,74,659
5	Landscaping Work		2,36,956	42,652	2,79,608	-	-	-	-	-	-
	Sub Total		<b>92,76,015</b>	<b>16,69,683</b>	<b>1,09,45,698</b>	<b>5,88,495</b>	<b>1,05,929</b>	<b>6,94,424</b>	<b>5,88,495</b>	<b>1,05,929</b>	<b>6,94,424</b>
	Rebate @5%		4,63,801	83,484	5,47,285	29,425	5,296	34,721	29,425	5,296	34,721
	<b>Grand Total</b>		<b>88,12,214</b>	<b>15,86,199</b>	<b>1,03,98,413</b>	<b>5,59,070</b>	<b>1,00,633</b>	<b>6,59,703</b>	<b>5,59,070</b>	<b>1,00,633</b>	<b>6,59,703</b>

**II - Non-Tendered Work**

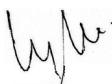
		AS PER NON-TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
Sl No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil Work	42,924	7,726	50,650	42,924	7,726	50,650	-	-	-
	Sub Total	<b>42,924</b>	<b>7,726</b>	<b>50,650</b>	<b>42,924</b>	<b>7,726</b>	<b>50,650</b>	-	-	-
	Rebate @5%	2,146	386	2,533	2,146	386	2,533	-	-	-
	<b>Grand Total</b>	<b>40,778</b>	<b>7,340</b>	<b>48,118</b>	<b>40,778</b>	<b>7,340</b>	<b>48,118</b>	-	-	-

**III - Additional tender quantity**

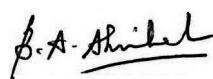
		AS PER TENDER ADDITIONAL QTY WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)			
Sl No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Civil Work	55,706	10,027	65,733	55,706	10,027	65,733	-	-	-	
	Sub Total	<b>55,706</b>	<b>10,027</b>	<b>65,733</b>	<b>55,706</b>	<b>10,027</b>	<b>65,733</b>	-	-	-	
	Rebate @5%	2,785	501	3,287	2,785	501	3,287	-	-	-	
	<b>Grand Total</b>	<b>52,921</b>	<b>9,526</b>	<b>62,446</b>	<b>52,921</b>	<b>9,526</b>	<b>62,446</b>	-	-	-	
	<b>SUB TOTAL - A</b>	<b>1,25,00,000</b>	<b>89,05,913</b>	<b>16,03,064</b>	<b>1,05,08,977</b>	<b>6,52,769</b>	<b>1,17,498</b>	<b>7,70,267</b>	<b>5,59,070</b>	<b>1,00,633</b>	<b>6,59,703</b>

**B PROFESSIONAL FEES**

Sl No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Architect Fee 6%	7,38,048	1,32,849	8,70,897	5,16,634	92,994	6,09,628	5,16,634	92,994	6,09,628	
2	Third Party Architect 1%	1,23,008	-	1,23,008	49,203	-	49,203	49,203	-	49,203	
3	Structural Consultants	40,000	7,200	47,200	32,000	5,760	37,760	32,000	5,760	37,760	
5	PHE Consultants	25,000	4,500	29,500	12,500	2,250	14,750	12,500	2,250	14,750	
6	Electrical Design & allied Services	45,000	8,100	53,100	22,500	4,050	26,550	22,500	4,050	26,550	
	<b>SUB TOTAL - B</b>	<b>9,71,056</b>	<b>1,52,649</b>	<b>11,23,705</b>	<b>6,32,837</b>	<b>1,05,054</b>	<b>7,37,891</b>	<b>6,32,837</b>	<b>1,05,054</b>	<b>7,37,891</b>	
	<b>GRAND TOTAL (A+B)</b>	<b>1,25,00,000</b>	<b>98,76,969</b>	<b>17,55,713</b>	<b>1,16,32,682</b>	<b>12,85,606</b>	<b>2,22,552</b>	<b>15,08,158</b>	<b>11,91,907</b>	<b>2,05,687</b>	<b>13,97,594</b>

  
**C. N. Guruprasanna**  
 President

  
**K. R. Paranjothi**  
 Vice President

  
**Abishek Bogaram Arun Kumar**  
 Hon. Secretary

  
**A. M. Raghavendran**  
 Hon. Treasurer

  
**CA M. R. Krishna Murthy**  
 Immediate Past President

  
**CA Ashwin B. U (Partner)**  
 For Mann & Co. Chartered Accountants  
 Membership No. 233255 / FRN No. 01520  
 UDIN No. 25233255SZQCDL6894



## RENOVATION OF BAR I TONE

**The SGM 29.06.2024 sanctioned ₹ 5 Crore+ GST for all the party hall renovation. The Executive Committee meeting decided to allocate ₹ 1.25 Crore to BAR I TONE Renovation.**

SGM Approval	29.06.2024
Budget	Rs.5,00,00,000 + GST
Newspaper Adv.	12.01.2025
Monitoring Sub-Com	19.02.2025
EC Meeting	25.02.2025, 27.03.2025.
No. of bidders	4
Names of the bidders	1.M/s. Sai Keerthan Constructions. With a initial Bid of Rs.1,12,24,314/- + GST
	2.M/s. Maxmuller Technologies with a initial Bid of Rs. 88,12,214/- + GST
	3.M/s. V Craft Interiors with a initial Bid of Rs.1,35,67,024/- + GST
	4.M/s. Sycone with a initial Bid of Rs.1,73,89,902/- + GST
Negotiation by EC, OB & Monitoring Sub Committee	27.03.2025
Contractor who won the bid	M/s. Maxmuller Technologies with a initial Bid of Rs. 88,12,214/- + GST
Letter of Intent issued and work order issued on	28.03.2025 & 31.03.2025
Time schedule	Commence from 03.04.2025 and complete within 55 days and handover before 30.05.2025
Bhoomi Pooja	02.04.2025
Contract Amount	Rs.88,12,214 + GST
Bought out items Estimate only- Work Pending	Rs.34,88,591/- + GST
Architect Fee 6%	Rs.7,38,048/- +GST
Third Party Architect Fee 1%	Rs.1,23,008/- +GST
Other Professional Fee	Rs. 1,10,000/-+ GST
Total Budget allocated to Bar I Tone	Rs.1,25,00,000/- + GST
Project Amount Spent	Rs. 11,91,907/- + GST

The Bar I tone Renovation and upgradation was approved by the SGM in its meeting held on 29.06.2024 with budget of Rs.5 Crore+ GST for all party halls with a sub limit of Rs.1.25 Crores. The task of preparing the detailed estimates, BOQ and tender documents were entrusted to the principal architect

of the Club. Subsequently a newspaper advertisement in Times of India and Prajavani were issued on 12.1.2025, calling for tenders by the interested vendors. There were 4 tenderers and they were called before the, OB, Monitoring subcommittee and EC for negotiations. A team of experts from OB and EC also inspected the works carried out by the said builders to understand about the quality and capability of the vendor. The lowest tender was given by M/s. Maxmuller Technologies and hence they were selected for the task. The tender amount was negotiated at Rs.88,12,214 + GST. The letter of intent was issued on 21.3.2025 and work order issued on 31.3.2025. The work was commenced from 03.04.2025. Bhoomi pooja was conducted on 2.4.2025.

So far, an amount of Rs.5,59,070/- + GST is released to the contractor as the contractor has raised the bills and the work is under progress. And an amount of Rs.5,16,634/- + GST is released to the principal architect for the architectural drawing and related works, and Rs.12,500/- + GST is released to M/s. DOX MEP towards Consultation fee for PHE design. And an amount of Rs.22,500/- + GST to M/s. Sarva Electricals towards Electrical Design. And advance for third party report Architect fee Rs.49,203/- paid to B. P. Sridhar Murthy. And an amount of Rs.32,000/- + GST to M/s. Ashok Associates towards Structural consultant.

The trees have developed extensive network of roots in this area, which are pretty big in size. It was to be carefully enveloped to protect the trees as well. Hence there were changes in the drawings, by relocating the columns and plinth beams.

The Bar I tone Work delayed due to modifications required in the Club's sewage line. Originally, the sewage line passed through the Baritone area and behind the guest room building. The sewerage of tennis, badminton, billiards office section going to the Bar I tone sewage pit which was inside the Bar I tone, the same has been pumping from Bar I tone to STP treatment collection tank. Which was causing lot of maintenance issue very frequently and also removing sludge from the pit was difficult task. Hence, decided to change the pit to new sewage line.

Based on technical considerations, the Structural Consultant advised that routing the sewage line behind the guest rooms was not advisable. Consequently, in the Executive Committee meeting held on 12.07.2025, it was resolved to shift the sewage line to the front of the guest rooms. This decision impacted the project timeline and resulted in a delay in the Baritone renovation work.

## 4. RENOVATION OF BAMBOO BAR

### STATEMENT OF RENOVATION BAMBOO BAR STRUCTURE WORK, SANCTIONED BUDGET, WORK ORDER ISSUED, WORK EXECUTED AND AMOUNT SPENT (PAYMENT MADE DETAILS), AS ON 15/12/2025 (Amount in Rupees)

		Sanctioned Budget	AS PER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
			Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
I	Capital & Revenue Budget	31,54,150									
A.	Labour charges for old structure removing, removing of soffit ceiling, for roof structure work, for steel decking, column work, for installation of Puff sheet, civil work, for unloading steel, Crane driver charges, for Road side stone civil work, for brick work, plastering & plinth work, for civil work, for bar bending work.		7,20,332	-	7,20,332	7,20,332	-	7,20,332	7,20,332	-	7,20,332
B.	Hire Of JCB, Crane Charges, Crane for lifting steel & Shifting of Debris		1,29,500	20,430	1,49,930	1,29,500	20,430	1,49,930	1,29,500	20,430	1,49,930

		Sanctioned Budget	AS PER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
			Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
C.	Purchase Of Material, TMT Bar, MS Plate, MS Pipes and MS Section, Supply of Puff Panel, M Sand, Jelly & Cement, Hammer drill machine, steel plate & oth-er items, steel sheet & screws, Supply of MS steel channel, Purchase of concrete jelly, solid bricks, paint for steel painting work, Supply of mesh, Granite for Bam-boo Bar Renovation Work		15,13,763	2,42,262	17,56,025	15,13,763	2,42,262	17,56,025	15,13,763	2,42,262	17,56,025
D.	Architect Fee		1,13,549	20,439	1,33,988	1,13,549	20,439	1,33,988	1,13,549	20,439	1,33,988
	<b>Grand Total (A+B+C+D)</b>	<b>31,54,150</b>	<b>24,77,144</b>	<b>2,83,130</b>	<b>27,60,275</b>	<b>24,77,144</b>	<b>2,83,130</b>	<b>27,60,275</b>	<b>24,77,144</b>	<b>2,83,130</b>	<b>27,60,275</b>

  
C. N. Guruprasanna  
President

  
K. R. Paranjothi  
Vice President

  
Abishek Bogaram Arun Kumar  
Hon. Secretary

  
A. M. Raghavendran  
Hon. Treasurer

  
CA M. R. Krishna Murthy  
Immediate Past President

  
CA Ashwin B. U (Partner)  
For Mann & Co. Chartered Accountants  
Membership No. 233255 / FRN No. 015205S  
UDIN No. 25233255SZQCDL6894

<b>RENOVATION OF BAMBOO BAR</b>	
E. C. Approval	15.03.2025
Budget – Structural work	₹31,54,150/- + GST ₹5,67,747/- = ₹37,21,897/-
Capital Budget	₹ 22,32,763/-
Revenue Budget	₹ 5,27,512/-
Total Budget	₹ 27,60,275/-
Negotiated & issued work order approved in O.B & E.C	27/03/25, 22/06/25, 12/04/25, 26/06/25, 22/06/25, 12/07/25, 29/07/25, 16/06/25, 10/05/25, 16/06/25
Work order issued to	M/s. MMR Fabrication, M/s. Star Iron Traders, M/s. Kailash Roofing, M/s. Mahalakshmi Rocks, Mr. Sampath Kumar, M/s. Thyagaraja Transport, M/s. Sridhar Enterprises, M/s. Jain N Jain, etc...
Work order issued on	19/03/25, 27/03/25, 22/06/25, 31/03/25, 21/05/25, 14/06/25, 20/06/25, 27/06/25, 11/07/25, 23/07/25, 31/05/25, 02/07/25, 28/03/25, 10/04/25, 29/04/25, 19/06/25, 13/05/25, 28/05/25, 07/04/25, 15/04/25, 26/04/25, 25/05/25, 03/05/25, 16/06/25 23/06/25, 25/06/25, 23/04/25, 02/05/25, 12/06/25, 21/06/25, 16/07/25, 12/07/25, 28/04/25
Commence from	17.03.2025
Work order issued for Bought-out items	₹23,63,595/- + GST ₹2,62,692/- = ₹26,26,287/-
Architect Fee	₹1,13,549 /- + GST ₹20,439/- = ₹1,33,988/-
Total project cost for structural work	₹24,77,144 /- + GST ₹2,83,130/- = ₹27,60,275/-
Amount Spent	₹24,77,144 /- + GST ₹2,83,130/- = ₹27,60,275/-
Additional Sanction Required	₹77,00,000 /- + GST ₹13,86,000/- = ₹90,86,000/-

The Club requires a larger stage area to conduct major programmes and cultural events such as the Club Annual Day, New Year's Eve, and other large-scale events. At present, the Club lawn (from the Wadiyar Hall side) is utilised for stage construction, which occupies substantial space and reduces member seating capacity. Further, the Club incurs recurring expenditure for hiring temporary stages for every major event.

To address these issues, the Executive Committee in its meeting held on 15/03/2025 decided to extend the stage area and to construct additional Gents' toilets, new Ladies' toilets, and a green room for artists. As the pergola area is also heavily utilised by members, the requirement for additional toilet facilities in this area was also identified. Accordingly, the Executive Committee for the year 2024–25 approved renovation of the Bamboo Bar structure under the Capital and Revenue Budget at an estimated cost of ₹ 31,54,150/- + GST.

The renovation drawings, architectural design, structural design, and estimated cost were prepared by the Club's Principal Architect, M/s Cube Architect. The work was executed by procuring building materials directly by the Club and awarding the labour contract to an experienced contractor. The structural work was completed at a cost of ₹ 24,77,144/- + GST ₹ 2,83,130/-, totalling ₹ 27,60,275/-.

Further works were required to make the facility fully functional, including interior works, civil construction, installation of specialised flooring suitable for dance performances, music systems, TV sets, and comprehensive electrical and plumbing (PHE) upgrades. The estimated cost of these additional works is approximately ₹ 77 lakhs.

In the Executive Committee meetings held on 29/09/2025 and 15/11/2025, it was decided to stop further work under the Capital and Revenue Budget and to convert the Bamboo Bar into “Sir M. V. Arena (ಸರ್. ಎಂ. ಸಭಾಂಗಣ)”, in memory of the Club's Founder President, Bharat Ratna Sir M. Visvesvaraya. It was also decided to utilise the Centenary Corpus Fund of ₹ 50,84,000/- for the project.

The subject has been placed before this SGM.

So far, an amount of ₹24,77,144 / - + GST ₹2,83,130/- = ₹27,60,275/- is spent. A sum of ₹15,13,736/- + GST ₹2,42,262/- = ₹17,56,025/- is paid towards the purchase of cement, steel, M sand, Jelly etc. A sum of ₹1,29,500/- + GST ₹20,430/- = ₹1,49,930/- is paid towards hire of Crane & JCB. A sum of ₹7,20,332/- is paid towards the labour payment. Architect Fee of ₹1,13,549/- + GST ₹20,439/- = ₹1,33,988/- paid.

*“5. Proposal for renovation of “Sir M. V. Arena – ಸರ್. ಎಂ. ಸಭಾಂಗಣ (previously called as Bamboo Bar) – seeking additional sanction of ₹77 lakhs (₹70 lakhs + ₹7 lakhs contingency) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 2% Third Party Audit Fee + Structural Consultant Fees (Club has already spent ₹27,60,275/- for the new structure at Bamboo Bar towards civil works, fabrication, puff-panel, granites, steel etc., from capital and revenue budget). The Centenary Corpus Fund of ₹50,84,000/- which was collected during Centenary Celebration will be utilised for “Sir M. V. Arena – ಸರ್. ಎಂ. ಸಭಾಂಗಣ in memory of our Founder, Sir. M. Visvesvaraya.”*

*• Renovation of Bamboo Bar is highly required to create a single large spacious stage that can accommodate all cultural programmes and members sitting area for dining. At present the additional structural work for ladies and gents' toilets is completed. The renovation work will include interior*

finishing, civil construction, installation of new specialized flooring suitable for dance performances, music system, TV sets, as well as comprehensive electrical and plumbing (PHE) upgrades.

Hence, the approval is sought from the General Body and pass the following resolution with or without change:

*Resolution:*

*"It is resolved that the proposal for renovation of "Sir M. V. Arena – ಸರ್. ಎಂ. ವಿ. ಸಭಾಂಗಣ (previously called as Bamboo Bar) – seeking additional sanction of ₹77 lakhs (₹70 lakhs + ₹7 lakhs contingency) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 2% Third Party Audit Fee + Structural Consultant Fees (Club has already spent ₹27,60,275/- for the new structure at Bamboo Bar towards civil works, fabrication, puff-panel, granites, steel etc., from capital and revenue budget). The Centenary Corpus Fund of ₹50,84,000/- which was collected during Centenary Celebration will be utilised for "Sir M. V. Arena – ಸರ್. ಎಂ. ಸಭಾಂಗಣ in memory of our Founder, Sir. M. Visvesvaraya, has been approved"*

## PROSPECTIVE VIEW OF BAMBOO BAR (SIR M. V. ARENA)



## 5. RENOVATION OF BADMINTON WORK

STATEMENT OF RENOVATION OF BADMINTON - SGM SANCTION, WORK EXECUTED AND AMOUNT SPENT (PAYMENT MADE DETAILS), AS ON 15/12/2025										(Amount in Rupees)	
W.O- PRO-11/24.04.2025 ( SGM Dtd: 29/06/24)		SGM Sanctioned Budget Amount	AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
I	SGM Sanction Budget dt: 29/06/2024	65,00,000									
A	CONTRACTOR										
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil & Interior Work		22,44,022	4,03,924	26,47,946	3,94,083	70,935	4,65,018	3,94,083	70,935	4,65,018
2	Electrical Works		3,65,000	65,700	4,30,700	7,39,613	1,33,130	8,72,743	7,39,613	1,33,130	8,72,743
3	PHE Works		3,35,148	60,327	3,95,475	1,58,750	28,575	1,87,325	1,58,750	28,575	1,87,325
4	Structural Work		5,60,591	1,00,906	6,61,497	74,700	13,446	88,146	74,700	13,446	88,146
	Sub Total		35,04,761	6,30,857	41,35,618	13,67,146	2,46,086	16,13,232	13,67,146	2,46,086	16,13,232
	Rebate @5%		1,75,238	31,543	2,06,781	68,357	12,304	80,662	68,357	12,304	80,662
	Grand Total		33,29,523	5,99,314	39,28,837	12,98,789	2,33,782	15,32,571	12,98,789	2,33,782	15,32,571
Additional tender quantity:											
	EC Sanctioned Date: 29/08/2025- Rs.3,59,242/-		AS PER TENDER ADDITIONAL QTY WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total
1	Civil Work		3,78,150	68,067	4,46,217	3,78,150	68,067	4,46,217	3,78,150	68,067	4,46,217
	Sub Total		3,78,150	68,067	4,46,217	3,78,150	68,067	4,46,217	3,78,150	68,067	4,46,217
	Rebate @5%		18,908	3,403	22,311	18,908	3,403	22,311	18,908	3,403	22,311
	Grand Total		3,59,243	64,664	4,23,906	3,59,240	64,663	4,23,903	3,59,243	64,664	4,23,906
	SUB TOTAL - A		36,88,765	6,63,978	43,52,743	16,58,029	2,98,445	19,56,474	16,58,031	2,98,446	19,56,477

			AS PER TENDER ADDITIONAL QTY WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)			
B	PROFESIONAL FEES		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Architect Fee 6%		2,31,840	41,731	2,73,571	1,93,622	34,852	2,28,474	1,93,622	34,852	2,28,474	
2	Third Party Architect 2%		1,00,000	-	1,00,000	80,000	-	80,000	80,000	-	80,000	
3	Structural Consultants		1,00,000	18,000	1,18,000	50,000	9,000	59,000	50,000	9,000	59,000	
5	PHE Consultant Electrical Design & allied Services		80,000	14,400	94,400	30,000	5,400	35,400	30,000	5,400	35,400	
<b>SUB TOTAL - B</b>			<b>5,11,840</b>	<b>74,131</b>	<b>5,85,971</b>	<b>3,53,622</b>	<b>49,252</b>	<b>4,02,874</b>	<b>3,53,622</b>	<b>49,252</b>	<b>4,02,874</b>	
C	BOUGHT OUT ITEMS											
1	Supply of Sanitary items		84,908	15,283	1,00,191	1,29,472	23,305	1,52,777	1,29,472	23,305	1,52,777	
2	Supply of Sanitary items		2,15,791	38,842	2,54,633	1,77,914	32,025	2,09,939	1,44,040	25,927	1,69,967	
3	Material mor Modernisation of Drain		48,400	8,712	57,112	48,400	8,712	57,112	48,400	8,712	57,112	
4	Urinal Partition		7,413	1,334	8,747	7,760	1,397	9,157	-	-	-	
5	Counter top tiles for wash basin		21,927	3,947	25,874	21,927	3,947	25,874	21,927	3,947	25,874	
6	Grill work items		97,000	-	97,000	76,356	-	76,356	76,356	-	76,356	
7	Purchase of Exhaust system		88,915	16,005	1,04,920	68,365	12,306	80,671	68,365	12,306	80,671	
8	Purchase of light		93,558	16,840	1,10,398	97,352	17,523	1,14,875	93,558	16,840	1,10,398	
9	Supply of Glass		1,30,200	23,436	1,53,636	-	-	-	-	-	-	
10	Supply of Glass		1,99,521	35,914	2,35,434	-	-	-	-	-	-	
11	Supply of Teakwood doors		1,04,808	18,865	1,23,673	-	-	-	-	-	-	
12	Labour Charges for door works		29,000	-	29,000	-	-	-	-	-	-	
13	Supply & installation of chamber		36,024	6,484	42,508	-	-	-	-	-	-	
<b>SUB TOTAL - C</b>			<b>11,57,465</b>	<b>1,85,664</b>	<b>13,43,128</b>	<b>6,27,546</b>	<b>99,214</b>	<b>7,26,760</b>	<b>5,82,118</b>	<b>91,037</b>	<b>6,73,155</b>	
<b>TOTAL I (A+B+C)</b>			<b>65,00,000</b>	<b>53,58,070</b>	<b>9,23,773</b>	<b>62,81,843</b>	<b>26,39,197</b>	<b>4,46,911</b>	<b>30,86,108</b>	<b>25,93,771</b>	<b>4,38,735</b>	<b>30,32,506</b>

<b>II</b>	<b>NON TENDER ITEMS (Sponsorship received for sports has been accounted)</b>	<b>4,48,665</b>	<b>Basic</b>	<b>GST @ 18%</b>	<b>Total</b>	<b>Basic</b>	<b>GST @ 18%</b>	<b>Total</b>	<b>Basic</b>	<b>GST @ 18%</b>	<b>Total</b>
1	Supply & installation of Bison Board		63,626	11,453	75,079	-	-	-	-	-	-
2	Purchase of Bubble roll		2,900	522	3,422	2,900	522	3,422	2,900	522	3,422
3	Purchase of Tarpauline		9,200	1,656	10,856	9,200	1,656	10,856	9,200	1,656	10,856
4	Supply of Hardware items for restroom water & sanitary connection		14,793	2,555	17,348	14,793	2,555	17,348	14,793	2,555	17,348
5	Purchase of Granite slabs		85,616	15,411	1,01,027	85,616	15,411	1,01,027	85,616	15,411	1,01,027
6	Water Heaters		46,254	8,326	54,580	46,254	8,326	54,580	46,254	8,326	54,580
7	Water Tank ( 2000 ltrs)		10,424	1,876	12,300	10,424	1,876	12,300	10,424	1,876	12,300
8	Supply of UPVC Windowa		19,000	3,420	22,420	19,000	3,420	22,420	19,000	3,420	22,420
9	Additional black granite		24,695	4,445	29,140	24,695	4,445	29,140	24,695	4,445	29,140
10	Slab Cutting		9,300	1,674	10,974	-	-	-	-	-	-
13	Purchase of Sensor UR Universal valve & other		19,842	3,572	23,414	19,842	3,572	23,414	19,842	3,572	23,414
14	Supply of Plumbing materials		6,436	1,158	7,594	6,436	1,158	7,594	6,436	1,158	7,594
15	Purchase of Bathroom Fittings		37,527	6,755	44,282	-	-	-	-	-	-
	<b>TOTAL - II</b>	<b>4,48,665</b>	<b>3,49,613</b>	<b>62,823</b>	<b>4,12,436</b>	<b>2,39,160</b>	<b>42,941</b>	<b>2,82,101</b>	<b>2,39,160</b>	<b>42,941</b>	<b>2,82,101</b>
<b>III</b>	<b>REVENUE BUDGET</b>	<b>1,77,408</b>									
1	Supply of Vinyl flooring		73,691	13,264	86,955	-	-	-	-	-	-
2	Purchase of Wood polish		1,463	263	1,726	1,463	263	1,726	1,463	263	1,726
3	Core cutting work		6,000	-	6,000	6,000	-	6,000	6,000	-	6,000
	<b>TOTAL - III</b>	<b>1,77,408</b>	<b>81,154</b>	<b>13,528</b>	<b>94,682</b>	<b>7,463</b>	<b>263</b>	<b>7,726</b>	<b>7,463</b>	<b>263</b>	<b>7,726</b>
	<b>GRAND TOTAL (I + II + III)</b>	<b>71,26,073</b>	<b>57,88,837</b>	<b>10,00,123</b>	<b>67,88,960</b>	<b>28,85,820</b>	<b>4,90,116</b>	<b>33,75,935</b>	<b>28,40,394</b>	<b>4,81,939</b>	<b>33,22,333</b>

**C. N. Guruprasanna**  
President

**K. R. Paranjothi**  
Vice President

**Abishek Bogaram Arun Kumar**  
Hon. Secretary

**A. M. Raghavendram**  
Hon.Treasurer

**CA M. R. Krishna Murthy**  
Immediate Past President

**CA Ashwin B. U (Partner)**  
For Mann & Co. Chartered Accountants  
Membership No. 233255 / FRN No. 01520  
UDIN No. 25233255SZQCDL6894



## RENOVATION OF BADMINTON

SGM Approval	29.06.2024
Budget	₹65,00,000 + GST
Newspaper Adv.	30.03.2025
Monitoring Sub-Com	16.04.2025
EC Meeting	24.04.2025
No. of bidders	1
Names of the bidders	M/s. Vivechana Constructions
Negotiation by EC, OB & Monitoring Sub Committee	16.04.2025, 24.04.2025
Contractor who won the bid	M/s. Vivechana Constructions for the lowest bid amount of ₹ 33,29,524/- + GST
Letter of Intent issued on	24.04.2025
Time schedule	Commence from 24.04.2025 and complete within 45 days and handover before 08.06.2025
Bhoomi Pooja	28.04.2025
Contract Amount	₹33,29,524/- + GST ₹5,99,314/- = ₹39,28,838/-
Tender Additional work issued to M/s. Vivechana Constructions	₹3,59,243/- + GST ₹64,663/- = ₹4,23,906/-
Non- Tender Additional work	₹3,49,613/- + GST ₹62,833/- = ₹4,12,436/-
Work order issued for Bought-out items	₹11,57,465/- + GST ₹1,85,664/- = ₹13,43,128/-
Architect Fee 6%	₹2,31,840/- +GST ₹41,731/- = ₹2,73,571/-
Third Party Architect Fee 2%	₹1,00,000/- +GST ₹0/- = ₹1,00,000/-
Other professional Charges (Structure and PHE)	₹ 1,80,000/- + GST ₹ 32,400/- = ₹ 2,12,400/-
Puff Sheet – Pending work	₹10,80,000/- +GST ₹1,94,400/- = ₹12,74,400/-
Amount Spent	₹28,40,394/- + GST ₹4,81,939/- = ₹33,22,333/-
Additional Sanction Required	₹25,00,000/- + GST ₹4,50,000/- = ₹29,50,000/-

The Badminton court Renovation and upgradation was approved by the SGM in its meeting held on 29.06.2024 with budget of ₹65.00 lakhs + GST. The task of preparing the detailed estimates, BOQ and tender documents were entrusted to the principal architect of the Club. Subsequently a newspaper advertisement in Prajavani and Deccan Herald were issued on 30.03.2025, calling for tenders by the vendors. There were 1 tenderer and they were called before the, OB, Monitoring subcommittee and EC for negotiations. Special EC dt.24.04.2025 then the chairman mentioned that there is only one single tender has been received, today's world no body come for small amount of projects. We have called the tender notifications in newspapers we have to accept whatever it comes. Hence recommended M/s. Vivechana Constructions for work. A team of experts from OB and EC also inspected the works carried out by the said builders to understand about the quality and capability of the vendor. The one and only tender was given by M/s. Vivechana Constructions for ₹35,04,762/- + GST ₹6,30,856/- = ₹41,35,618/- and hence they were selected for the task. The tender amount was negotiated at ₹33,29,524 + GST ₹5,99,314/- = ₹39,28,838/- . The letter of intent was issued on 24.4.2025. The work was commenced from 03.05.2025 as of now work is under progress.

The work is and under progress. So far, an amount of ₹16,58,031/- +GST ₹2,98,446/- = ₹19,56,477/- is released to the contractor. And an amount of ₹1,93,622/- + GST ₹34,852/- = ₹2,28,474/- is released to the principal architect M/s Cube Architects for the architectural drawing and related works, ₹80,000/- is released to M/s. Sridhar Murthy third party Chartered Engineer for work verification of the bought out items of ₹5,82,118/- + GST ₹91,037/- = ₹6,73,155/- & non tendered additional work of ₹2,39,160/- + GST ₹42,941/- = ₹2,82,101/- purchased as of now, ₹50,000/- + GST ₹9,000/- = ₹59,000/- is released to M/s. Ashok Associates towards structural consultation fee and ₹30,000/- + GST ₹5,400/- = ₹35,400/- is released for M/s DEX Mep Eng Services for PHE design. Total spent on project is ₹28,40,394/- + GST ₹4,81,939/- = ₹33,22,333/-.

The renovation of Badminton section work was delayed because of sewerage line work, slab casting, structural issue, water proofing work, all the hurdles cleared and now work is under progress.

#### COMPARATIVE STATEMENT OF TENDER DOCUMENTS - RENOVATION OF BADMINTON COURT SECTION

Sl. No.	Particulars	Estimate	Vivechana Construction				
		Basic Amount	Basic Amount	CGST 9%	SGST 9%	Total Amount	
<b>Part A</b>							
1	Civil Works	7,32,234	8,16,967	73,527	73,527	9,64,022	
2	Interior Works	13,28,995	14,27,055	1,28,435	1,28,435	16,83,925	
3	Structural Works	6,34,555	5,60,591	50,453	50,453	6,61,497	
4	Electrical Works (Area Based Estimate)	3,06,600	3,65,000	32,850	32,850	4,30,700	
5	PHE Works (Lumpsum Estimate Including Supply Of Sanitary Fixtures)	13,17,300	3,35,148	30,163	30,163	3,95,475	
<b>Total</b>		<b>43,19,684</b>	<b>35,04,762</b>	<b>3,15,428</b>	<b>3,15,428</b>	<b>41,35,618</b>	

Sl. No.	Particulars	Estimate	Vivechana Construction			
		Basic Amount	Basic Amount	CGST 9%	SGST 9%	Total Amount
	Rebate At 5% Offered By The Contractor On Part A	-	1,75,238	15,771	15,771	2,06,781
	<b>Grand Total Part A - After Discount</b>	<b>43,19,684</b>	<b>33,29,524</b>	<b>2,99,657</b>	<b>2,99,657</b>	<b>39,28,838</b>
	<b>Part B</b>					
1	Total For Part B - Rate Only Items- To Be Procured By The Club (Excluding GST)	12,81,670	11,45,902	1,03,131	1,03,131	13,52,164
	<b>Total For Complete Works (Part A+B)</b>	<b>56,01,354</b>	<b>44,75,425</b>	<b>4,02,788</b>	<b>4,02,788</b>	<b>52,81,001</b>

**Note:-**

Century Club had given advertisement in paper for renovation of Badminton Section dated 30.03.2025. Two vendors had taken the Tender application one is 1.) Dhatri Build Tech vide Receipt No. 22035 dt 3/4/25 & other is 2.) Vivechana Constructions vide Receipt No 22098 dt 8/4/25. Dhatri Build Tech has collected the Tender but not submitted the tender hence only Vivechana Constructions has submitted the tender. Vivechana Construction have quoted the tender value of ₹35,70,463/- + GST ₹6,42,683/- = ₹42,13,146/- (incl. GST).

The tender document towards renovation of Badminton Section was opened in the Monitoring Sub-Committee meeting held on 16.04.2025 in the presence of Office Bearers, EC Members and Monitoring Sub-Committee members who were present on the day. Only one tender received from M/s. Vivechana Constructions of ₹35,70,462/- towards renovation of Badminton Section. During the scrutiny of tender document found that there was an arithmetic error of ₹65,700/- quoted higher for Electrical works. Hence the actual quoted rate is ₹35,04,762/-.

M/s. Vivechana Construction were called to Monitoring Sub-Committee meeting held on 22.04.2025 for discussion and negotiation. M/s. Vivechana Constructions agreed to offer 5% rebate on the quoted rates. Hence the final quoted rate after 5% rebate by M/s. Vivechana Constructions is ₹33,29,524/- + GST. Since in today's world nobody come for small amount of projects, the Monitoring Sub-Committee recommended to issue Work Order to M/s. Vivechana Constructions for ₹33,29,524/- + GST excluding bought out items.

Further Executive Committee meetings dt.24.04.2025, Vivechana Construction have agreed to offer final discount after negotiation at 5% of ₹1,75,238/- + GST ₹31,543/- = ₹2,06,781/- on the tendered value of ₹35,04,762/- plus GST. The final value reduced to ₹33,29,524/- + GST ₹5,99,314/- = ₹39,28,838/- (incl. GST).

SGM held on 29.06.2024 has sanctioned 65 lakhs for Badminton section renovation which is included ₹ 10,80,000 for puff sheet. The puff sheet work is not executed as of now. Only an amount of ₹ 54,20,000 civil works are executed. To complete the Badminton section Renovation in full, The Club required addition sanction of ₹25 lakhs. The addition of ₹ 25 lakhs includes following items, like Additional civil works, Supply and installation Glass partition and doors, Furniture's like Table, chair, Lockers, storage units, etc., Electronics items like Television and Music System, Water softener, Pressure pump and other contingency. Hence the following proposal and resolution:

**4. Proposal for renovation of Badminton Section – seeking additional sanction of Rs.25 lakhs (addition of Rs.25 lakhs for already sanctioned amount of Rs.65 lakhs by SGM 29.06.2024) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 2% Third Party Audit Fee + Structural Consultant Fees.**

- The renovation works include additional civil works, the supply and installation of glass partitions and doors, the supply and installation of furniture items such as tables, chairs, lockers, and storage units, as well as the installation of a television and music system.

Hence, the approval is sought from the General Body and pass the following resolution with or without change:

Resolution:

**“It is resolved that the proposal for renovation of Badminton Section – seeking additional sanction of Rs.25 lakhs (addition of Rs.25 lakhs for already sanctioned amount of Rs.65 lakhs by SGM 29.06.2024) + taxes + 5% Architects Fee + 3% Project Management Consultant (PMC) Fee + 2% Third Party Audit Fee + Structural Consultant Fees, has been approved”**

## 6. RENOVATION OF TABLE TENNIS SECTION & PICKLE BALL COURT AREA

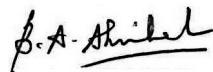
STATEMENT OF RENOVATION OF TABLE TENNIS SECTION & PICKLE BALL COURT AREA - SGM SANCTION, WORK EXECUTED AND AMOUNT SPENT (PAYMENT MADE DETAILS), AS ON 15/12/2025  
(Amount in Rupees)

	W.O- PRO-36/31.03.2025	SGM Sanction Budget Amount	AS PER TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)			
I	SGM Sanction Budget dt: 29/06/2024	57,39,220										
A	CONTRACTOR											
Sl No	Particulars		Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	
1	Civil & Interior Work		9,32,360	1,67,825	11,00,185	1,80,192	32,435	2,12,626	1,80,192	32,435	2,12,627	
2	Electrical Works		4,03,660	72,659	4,76,319	-	-	-	-	-	-	
3	Plumbing		1,84,500	33,210	2,17,710	-	-	-	-	-	-	
4	Sanitary Fittings		2,35,000	42,300	2,77,300	-	-	-	-	-	-	
5	Lighting		2,07,000	37,260	2,44,260	-	-	-	-	-	-	
6	Colour Work		4,20,000	75,600	4,95,600	-	-	-	-	-	-	
7	Furnitures		11,04,900	1,98,882	13,03,782	-	-	-	-	-	-	
8	Tiles/Tiles Work		10,16,100	1,82,898	11,98,998	3,88,015	69,843	4,57,858	3,88,015	69,843	4,57,858	
9	Fabrication Work		5,05,200	90,936	5,96,136	4,43,395	79,811	5,23,206	4,43,395	79,811	5,23,206	
10	Ceiling work		5,87,800	1,05,804	6,93,604	3,45,867	62,256	4,08,123	3,45,867	62,256	4,08,123	
11	Art Work		1,00,000	18,000	1,18,000	-	-	-	-	-	-	
	<b>Sub Total</b>		<b>56,96,520</b>	<b>10,25,374</b>	<b>67,21,894</b>	<b>13,57,469</b>	<b>2,44,344</b>	<b>16,01,813</b>	<b>13,57,469</b>	<b>2,44,344</b>	<b>16,01,813</b>	
	Less: Deletion		16,16,095	2,90,897	19,06,992	-	-	-	-	-	-	
	<b>Total After Deletion</b>		<b>40,80,425</b>	<b>7,34,477</b>	<b>48,14,902</b>	<b>13,57,469</b>	<b>2,44,344</b>	<b>16,01,813</b>	<b>13,57,469</b>	<b>2,44,344</b>	<b>16,01,813</b>	
	Rebate @ 1.5%		61,206	11,017	72,224	20,362	3,665	24,027	20,362	3,665	24,027	
	<b>SUB TOTAL -A</b>		<b>57,39,220</b>	<b>40,19,219</b>	<b>7,23,459</b>	<b>47,42,678</b>	<b>13,37,107</b>	<b>2,40,679</b>	<b>15,77,786</b>	<b>13,37,107</b>	<b>2,40,679</b>	<b>15,77,786</b>

B		NON TENDERED WORK		AS PER NON-TENDER WORK ORDER ISSUED			WORK EXECUTED			AMOUNT SPENT (PAYMENT MADE DETAILS)		
SI No	Particulars	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total	Basic	GST @ 18%	Total		
1	Puff Sheet	3,29,050	59,229	3,88,279	3,08,558	55,540	3,64,098	3,08,558	55,540	3,64,098		
	Sub Total	<b>3,29,050</b>	<b>59,229</b>	<b>3,88,279</b>	<b>3,08,558</b>	<b>55,540</b>	<b>3,64,098</b>	3,08,558	55,540	3,64,098		
	Rebate @ 1.5%	-	-	-	4,628	833	5,461	4,628	833	5,461		
	<b>Total</b>	<b>3,29,050</b>	<b>59,229</b>	<b>3,88,279</b>	<b>3,03,930</b>	<b>54,707</b>	<b>3,58,637</b>	<b>3,03,930</b>	<b>54,707</b>	<b>3,58,637</b>		
2	Door Frames & Shutters	2,67,978	48,236	3,16,214	-	-	-	-	-	-		
	Sub Total	<b>2,67,978</b>	<b>48,236</b>	<b>3,16,214</b>	-	-	-	-	-	-		
	Rebate @ 1.5%	-	-	-	-	-	-	-	-	-		
	<b>Total</b>	<b>2,67,978</b>	<b>48,236</b>	<b>3,16,214</b>	-	-	-	-	-	-		
	<b>SUB TOTAL - B</b>	<b>5,97,028</b>	<b>1,07,465</b>	<b>7,04,493</b>	<b>3,03,930</b>	<b>54,707</b>	<b>3,58,637</b>	<b>3,03,930</b>	<b>54,707</b>	<b>3,58,637</b>		
C	PROFESSIONAL FEES											
1	Architect Fee 6%	2,00,000	36,000	2,36,000	1,60,000	28,800	1,88,800	1,30,000	23,400	1,53,400		
2	Third Party Architect 2%	1,12,221	-	1,12,221	-	-	-	-	-	-		
	<b>SUB TOTAL - C</b>	<b>3,12,221</b>	<b>36,000</b>	<b>3,48,221</b>	<b>1,60,000</b>	<b>28,800</b>	<b>1,88,800</b>	<b>1,30,000</b>	<b>23,400</b>	<b>1,53,400</b>		
D	Pickle Ball Court											
1	Waterproofing & other work for Pickle Ball Court	5,17,000	93,060	6,10,060	-	-	-	2,50,000	-	2,50,000		
2	Floor tiles laying & Epoxy grouting wotk	1,32,060	23,771	1,55,831	-	-	-	-	-	-		
		<b>6,49,060</b>	<b>1,16,831</b>	<b>7,65,891</b>	-	-	-	<b>2,50,000</b>	-	<b>2,50,000</b>		
	<b>GRAND TOTAL (A+B+C+D)</b>	<b>57,39,220</b>	<b>55,77,528</b>	<b>9,83,755</b>	<b>65,61,283</b>	<b>18,01,036</b>	<b>3,24,187</b>	<b>21,25,223</b>	<b>20,21,037</b>	<b>3,18,787</b>	<b>23,39,823</b>	

  
C. N. Guruprasanna  
President

  
K. R. Paranjothi  
Vice President

  
Abishek Bogaram Arun Kumar  
Hon. Secretary

  
A. M. Raghavendran  
Hon. Treasurer

  
CA M. R. Krishna Murthy  
Immediate Past President

  
T. S. U. Ashwin  
CA Ashwin B. U (Partner)  
For Mann & Co. Chartered Accountants  
Membership No. 233255 / FRN No. 015205S  
UDIN No. 25233255SZQCDE6894

## RENOVATION OF TABLE TENNIS SECTION & PICKLE BALL COURT AREA

SGM Approval	31.03.2024, 29.06.2024
Budget	₹19,39,220/- + ₹38,00,000/- = ₹57,39,220/- + GST
Newspaper Adv.	02.05.2025
Monitoring Sub-Com	07.05.2025, 09.05.2025
EC Meeting	10.05.2025
No. of bidders	3
Names of the bidders	1.M/s. Doors N Doors Deco Build Pvt. Ltd., With an initial Bid of ₹ 56,96,520/- + GST
	2.M/s. Print Impact with an initial Bid of ₹ 63,73,285/- + GST
	3.M/s. Vivechana Constructions., with an initial Bid of ₹ 85,65,389/- + GST
Negotiation by EC, OB & Monitoring Sub Committee	10.05.2025, 15.05.2025
Contractor who won the bid	M/s. Doors N Doors Deco Build Pvt. Ltd., For the lowest bid amount of ₹ 56,11,072/- + GST
Letter of Intent issued on	19.05.2025
Time schedule	Commence from 20.05.2025 and complete within 35 days and handover before 25.06.2025
Bhoomi Pooja	22.05.2025
Contract Amount	₹40,19,219/- + GST ₹7,23,459/- = ₹47,42,678/-
Non-Tender work	₹5,97,028/- + GST ₹10,7,465/- = ₹7,04,493/-
Contract amount for pickle ball court area	₹6,49,060/- + GST ₹11,6,831/- = ₹7,65,891/-
Architect Fee	₹2,00,000/- +GST ₹36,000/- = ₹2,36,000/-
Third Party Architect Fee 2%	₹1,12,221/- +GST ₹0/- = ₹1,12,221/-
Total	₹55,77,528/- + GST ₹9,83,755/- = ₹65,61,283/- is allocated towards Table Tennis Section – Renovation
Total Amount Spent	₹20,21,037/- + GST 3,18,787/- = 23,39,823/-

The Table Tennis Section Renovation and upgradation was approved by the SGM in its meeting held on 31.03.2024 and 29.06.2024 with budget of ₹19,39,220/- + ₹38,00,000/- = ₹57,39,220/- + GST ₹10,33,060/- = ₹67,72,280/-. The task of preparing the detailed estimates, BOQ and tender documents were entrusted to the principal architect of the Club. Subsequently a news paper advertisements in prajavani and Deccan Herald were issued

on 02.05.2025, calling for tenders by the vendors. There were 3 tenderers and they were called before the, OB, Monitoring sub committee and EC for negotiations. The lowest tender was given by M/s. Doors N Doors Deco Build Pvt. Ltd.. and hence they were selected for the task. The tender amount was negotiated at ₹56,11,072 + GST. The letter of intent was issued on 19.5.2025. The work was commenced from 20.05.2025 and complete within 35 days and handover before 25.06.2025. Bhoomi pooja was conducted on 10.05.2025.

The work is under progress. So far, an amount of ₹16,41,038/- is released to the contractor and also the work is under progress. And an amount of ₹1,30,000/- is released to the principal architect M/s Ariyna Design for the architectural drawing and other related works and ₹2,50,000/- paid for water proofing and other works for Pickle Ball court totalling an amount of ₹20,21,037/- paid towards the project.

<b>COMPARATIVE STATEMENT OF TENDER FOR RENOVATION OF TABLE TENNIS SECTION</b>					
<b>SI No</b>	<b>Section</b>	<b>Amt</b>	<b>Amt</b>	<b>Amt</b>	<b>Amt</b>
		<b>Estimate</b>	<b>M/s. Doors N Doors Deco Build Pvt. Ltd.</b>	<b>M/s. Print Impact</b>	<b>M/s. Vivechana Constructions</b>
1	Civil Works & Interior Works	9,27,800	9,32,360	11,55,400	19,29,696
2	Plumbing	3,15,000	1,84,500	2,80,400	2,20,691
3	Sanitary Fittings	3,00,000	2,35,000	2,70,000	2,87,992
4	Electrical Works	4,76,000	4,03,660	4,79,310	11,16,325
5	Lighting	3,00,000	2,07,000	2,25,000	9,33,870
6	Color Work	3,50,000	4,20,000	3,50,000	88,200
7	Furniture	9,35,000	11,04,900	10,78,500	10,17,300
8	Tile	4,79,825	3,95,150	4,51,600	10,44,325
9	Tiles Work	4,00,000	6,20,950	7,62,075	1,24,190
10	Fabrication Work	5,91,375	5,05,200	5,49,000	5,29,800
11	Ceiling Work	5,50,000	5,87,800	6,22,000	12,23,000
12	Art Work	1,75,000	1,00,000	1,50,000	50,000
	<b>Total</b>	<b>58,00,000</b>	<b>56,96,520</b>	<b>63,73,285</b>	<b>85,65,389</b>
	<b>GST 18%</b>	<b>10,44,000</b>	<b>10,25,374</b>	<b>11,47,191</b>	<b>15,41,770</b>
	<b>Grand Total</b>	<b>68,44,000</b>	<b>67,21,894</b>	<b>75,20,476</b>	<b>1,01,07,159</b>
	Less Discount Offered 1.5%		1,00,828	-	-
	<b>Total After Discount</b>		<b>66,21,065</b>	<b>75,20,476</b>	<b>1,01,07,159</b>

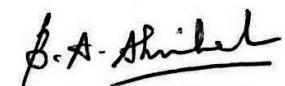
**Note:**

Century Club has given an Advertisement in Deccan Herald & Kannada Prabha on 31.03.2025 towards Renovation of Table Tennis Section. Received 3 Tenders 1). M/s. Doors N Doors Deco Build Pvt. Ltd., 2). M/s. Print Impact, 3). M/s. Vivechana Construction and compared with the rates of all the three Tenders

As per the Comparison M/s. Doors n Doors Build Pvt. Ltd. has quoted less compared to other two vendors And as per the Monitoring Sub-committee Dt: 07.05.2025 & 09.05.2025, E.C. meeting Dt:10.05.2025 negotiated the price with M/s. Doors N Doors Deco Build Pvt. Ltd., and they have agreed to provide a discount of 1.5% on the tendered value. As per the decision of Sub Committee, EC members & Office Bearers issuing Work Order to M/s. Doors N Doors Deco Build Pvt. Ltd., Tender value of ₹56,96,520 + GST ₹10,25,374 = ₹67,21,894. (incl. GST).

Further M/s. Doors N Doors Deco Build Pvt. Ltd., has been called for the Monitoring Sub-Committee dt. 07.05.2025 & 09.05.2025 and Executive Committee meetings dt. 10.05.2025 and have agreed to offer final discount after negotiation at 1.5% of ₹ 85,448 + GST ₹7,690 = ₹93,138/- on the tendered value. The final value reduced to ₹56,11,072 + GST ₹10,09,992= ₹66,21,064/- (incl. GST).

The work in under progress.



Place: Bangalore  
Date: 22.12.2025

Abishek Bogaram Arun Kumar  
Hon. Secretary

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**From,**  
**Century Club**

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